

Proposal Request

PR#: 001

Project: Black & Williams Community Center - Gymnasium Improvements

Date: August 01, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to be added to the original project scope. Please provide a labor/material breakdown for each item for review.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

~~**PR #1A: Roofing Repairs/Patching:** identify (size) the existing roofing areas over the former restrooms that need to be replaced where the gypsum roof deck has deteriorated and failed. Provide the same new metal decking patching that is being done at the other main areas in the gym identified on the construction documents – we do not need any new gypsum panels installed at the underside of these locations since they are above the finished lay-in ceiling systems and won't be seen. Remove and discard the existing loose/falling gypsum decking. See attached for JEA's survey of the roof damage areas.~~

~~**PR#1B: Add Additional Chain Link Fencing:** per the attached drawing, provide 4" black vinyl coated chain link fencing (no mesh fabric) at the side yard 3' set back from the edge of the gym building and 8" off the existing neighbor's house. Chain link fencing to match the same black coated vinyl fencing being used at the new outdoor air unit enclosure. Provide concrete foundations at the posts typical.~~

~~**PR#1C: Remove and Replace Entry Concrete Sidewalk:** per the attached drawings, remove and replace the 4"-5" deep concrete walk entry down to the existing Georgetown Street sidewalk.~~



10/23/2023
OMNI
ATTN: Travis
Ref: Black & Williams Gym Renovations – Sidewalk Change Order

Thank you for considering Cass Concrete for the above referenced project. Our scope of work, exclusions and clarifications are listed below. The following proposal is in reference to install and supply materials for SOG only based on drawings dated 08/01/2023, and we acknowledge 0 addendums.

Scope of Work: Need Caulking Number Budget \$250.

Change Order

1. Remove existing 4-5" concrete entry walk from existing doors to existing sidewalk.
2. Prep area for new concrete sidewalk.
3. Form, place, and finish new sidewalk per details C, D, E/C1.1
4. Furnish and install wire mesh, and expansion joint.

Exclusions:

- All Caulking.
- Removing/Hammering of Rock.
- Hauling off spoils and concrete washout.
- Over Excavation of Unsuitable Soils.
- Staking of engineered corners.
- Caulking/Sealant of all joints.
- Lane closures that may be associated with project.
- All masonry work, and rebar.

Clarifications:

- We will make every attempt to hold this price for an extended period of time but reserve the right to renegotiate this proposal if a letter of commitment is not received within 15 days.

See email from
Summer 12/19/2023

~~Demo: \$2,446.00~~
Repour
 Material: \$2,090.00
 Labor: \$5,364.00
~~Bid Total: \$9,900.00~~
\$7,454.00

Jonathon Nelson
Project Manager
Cell: (231) 434-9558
Email: Jonathon.Nelson@cassconcrete.com

Travis Harris

From: Summer Wright <summer.wright@cassconcrete.com>
Sent: Tuesday, December 19, 2023 9:44 AM
To: Travis Harris
Cc: jonathon.nelson@cassconcrete.com; Jacob Goble
Subject: Re: LFUCG-BW PR-1 item C Front Sidewalk Pricing

That is correct.

Thanks-

Summer
Wright
Cass Concrete

859.336.4623
summer.wright@cassconcrete.com
www.CassConcrete.com
1129 Lebanon Rd, Danville, KY 40422



CASS
CONCRETE

From: Travis Harris <tharris@omnicommercialky.com>
Sent: Monday, December 18, 2023 1:48 PM
To: Summer Wright <summer.wright@cassconcrete.com>
Cc: jonathon.nelson@cassconcrete.com <jonathon.nelson@cassconcrete.com>; Jacob Goble <jgoble@omnicommercialky.com>
Subject: RE: LFUCG-BW PR-1 item C Front Sidewalk Pricing

Summer,

Proposal Request

PR#: 004

Project: Black & Williams Community Center - Gymnasium Improvements

Date: October 2, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to be added to the original project scope. Please provide a labor/material breakdown for each item for review, if applicable.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

PR #4: Mechanical Pad and Fence Enclosure Dimensions

Due to the requirements of the GMU being provided in lieu of the original specified unit being unavailable, the overall dimensions and layout of the equipment pad and fencing will need to be adjusted (**see RFI#16**) as below:

(see RFI#16):

- See updated detail G/C2.1
- Add approximately 5'-4" linear feet of fencing.
- Add approximately 10 square feet to the equipment pad.
- Field verify all quantities.



RFI Request

Request # /Subject RFI-016-Fence and Equipment Pad Coordination

Project # 2023017

To: _____

Date: _____

Project Name: B&W Gym Reno

Project Location: 498 Georgetown Road

Reason for Request:

- Insufficient Information
- Engineering Conflict
- Alternate Proposal

Forecast Effect:

- Increase Cost
- Decrease Cost
- No Cost Change
- Increase Time
- Decrease Time
- No Time Impact

Action Requested:

- Clarification
- Direction
- Approval

Reference: Drawing No. C2.1&M6.0 Detail No. See below Specification _____

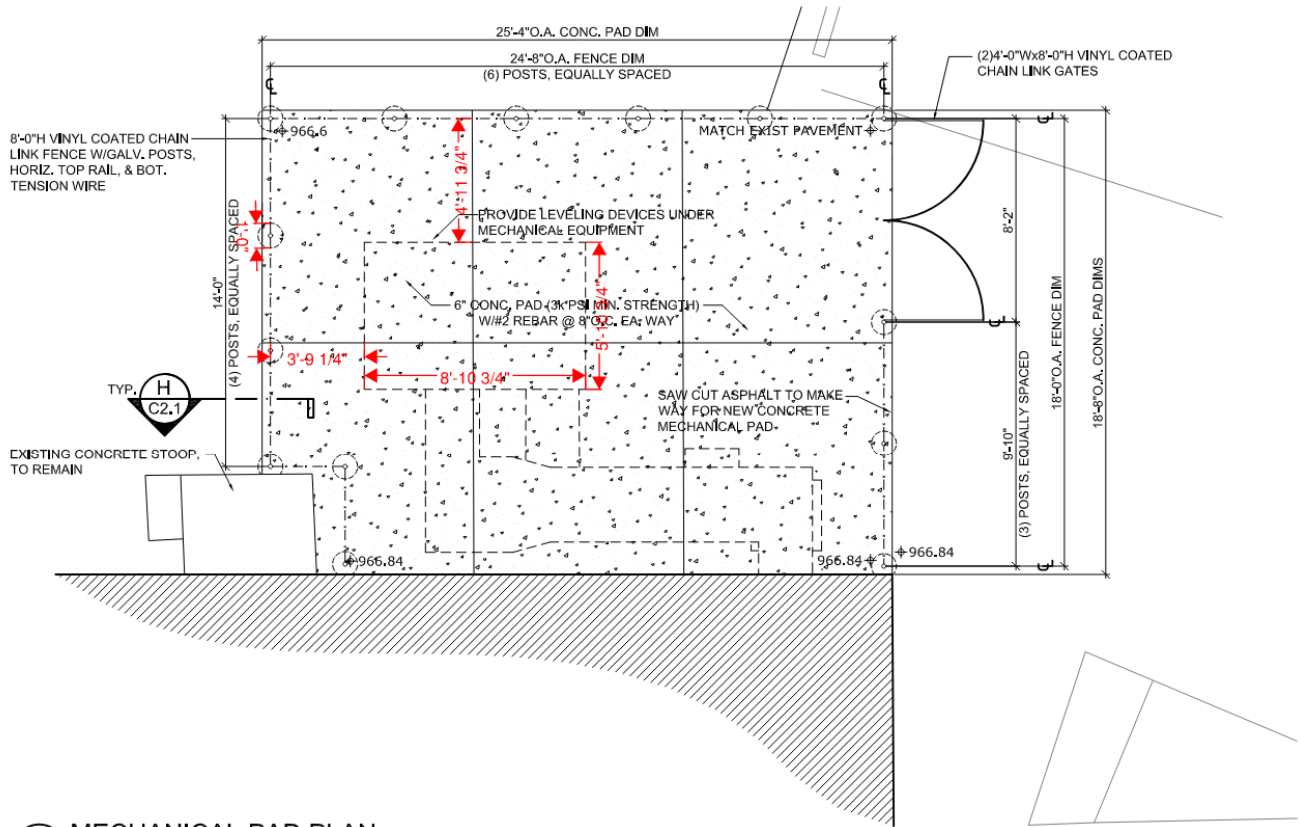
QUESTION

Per review Sheet C2.1 detail G/C2.1 references detail H2.1 and shows the slab has a turn down at -2' from BOS at the perimeter of the pad. Also, Sheet C2.1 show the fence details with the post cast deeper and wider than detail H2.1 turn down footings, top of post concrete is flush with the slab, and that the outside radius of the post concrete is outside of the edge of the slab. Lastly M6.0 shows a different mechanical pad altogether. Per previous correspondence the current placement of the GMU will not have proper clearances as well per detail G-C2.1 per the approved GMU unit submittal. Please confirm how design wants to proceed.



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

RFI Request



G MECHANICAL PAD PLAN
C2.1 SCALE: 1/4" = 1'-0"

NOTE: PROVIDE LEVELING METHOD SO THAT MECHANICAL UNIT IS LEVEL ON CONCRETE PAD

Proposed Solution:

Design Direction:

- Proceed with Recommendation Proceed with the Following Instructions:

PAD SIZE AS SHOWN ON THE DRAWINGS SHOULD BE SUFFICIENT FOR THE NEW UNIT/CLEARANCES IF THE UNIT PLACEMENT IS ADJSUTED. THIS NEEDS TO BE COORDINATED WITH THE INLINE EXHAUST IN ORDER TO CONFIRM. WE DO NOT HAVE INFORMATION ON THE EXHAUST TO EVALUATE.



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

2025 Leestown Road, Suite B
Lexington, KY 40511
(859) 254-0011

SUBMITTAL REVIEW

202023017
LFUCG-Black And Williams
University Of Kentucky
550 South Limestone St Lexington, KY

Spec. Section: 237413
Submittal No: 004
Revision No: 004
Submittal Date: 9/26/2023

Submittal Title: 237413-004 GMU Pad Coordination as Requested by Design

Design must confirm approval.

OMNI Commercial, LLC
Contractor Submittal Review:
Submittal #:237413-004 Date: 9/26/2023

This review is only for general conformance with the design concept of the project and general compliance with the information given in the Contract Documents. Corrections or comments made on the submittal during this review do not relieve the Subcontractor from compliance with the requirements of the plans, specifications and any applicable addendum. Approval of a specific item shall not include approval of an assembly of which the item is a component. Subcontractor responsible for dimensions to be confirmed and coordinated at the jobsite; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work of all trades; and for performing all Work in a safe and satisfactory manner. The Submittal is as follows:

- Reviewed
- Furnish as Corrected
- Revise and Resubmit
- Rejected

By: Travis Harris Date: 9/26/23

ARCHITECT:
JEA

Architect Submittal Review: JEA
Submittal #: _____ Date: _____

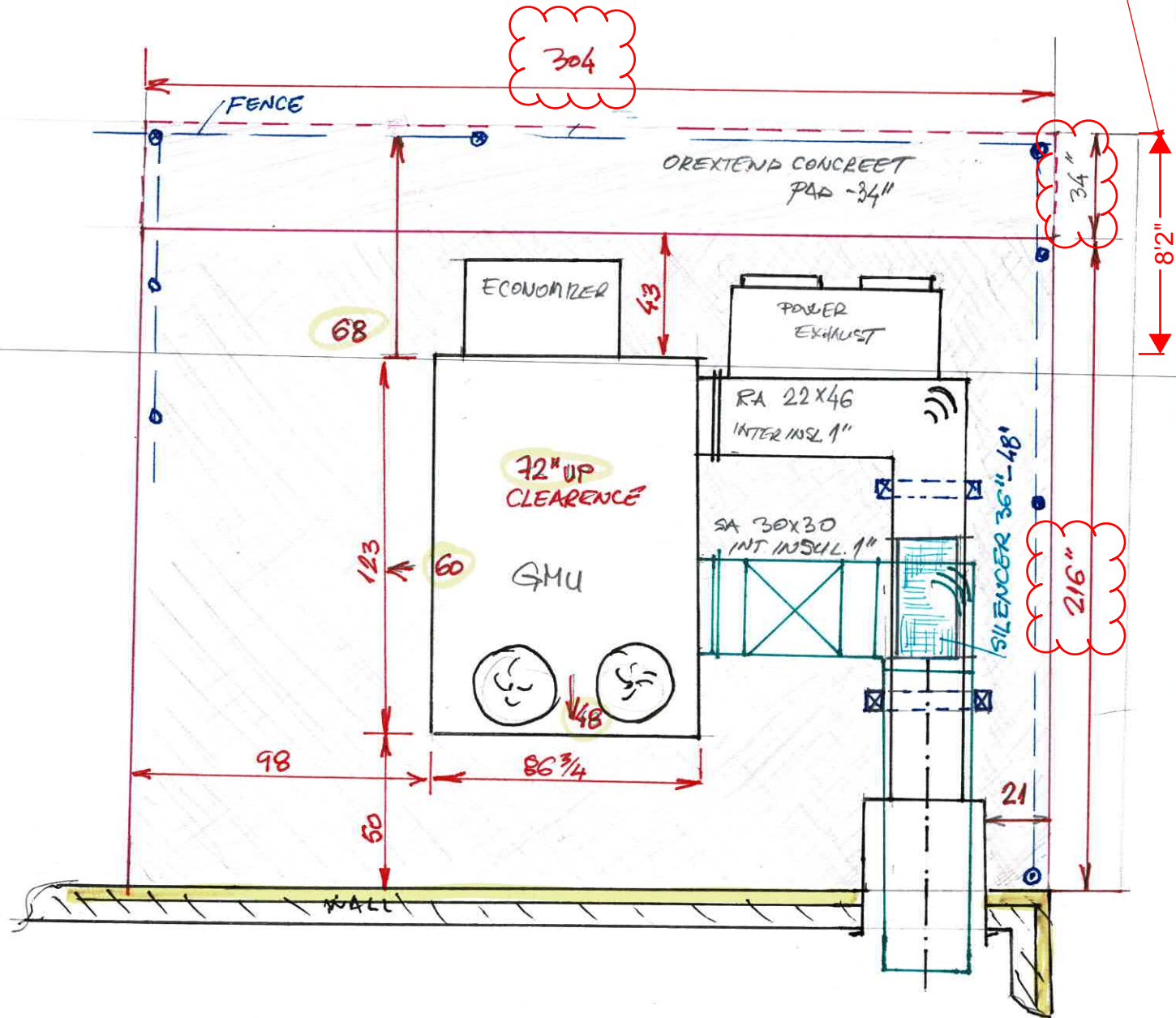
This review is only for general conformance with the design concept of the project and general compliance with the information given in the Contract Documents. Corrections or comments made on the submittal during this review do not relieve the Subcontractor from compliance with the requirements of the plans, specifications and any applicable addendum. Approval of a specific item shall not include approval of an assembly of which the item is a component. Subcontractor responsible for dimensions to be confirmed and coordinated at the jobsite; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work of all trades; and for performing all Work in a safe and satisfactory manner. The Submittal is as follows:

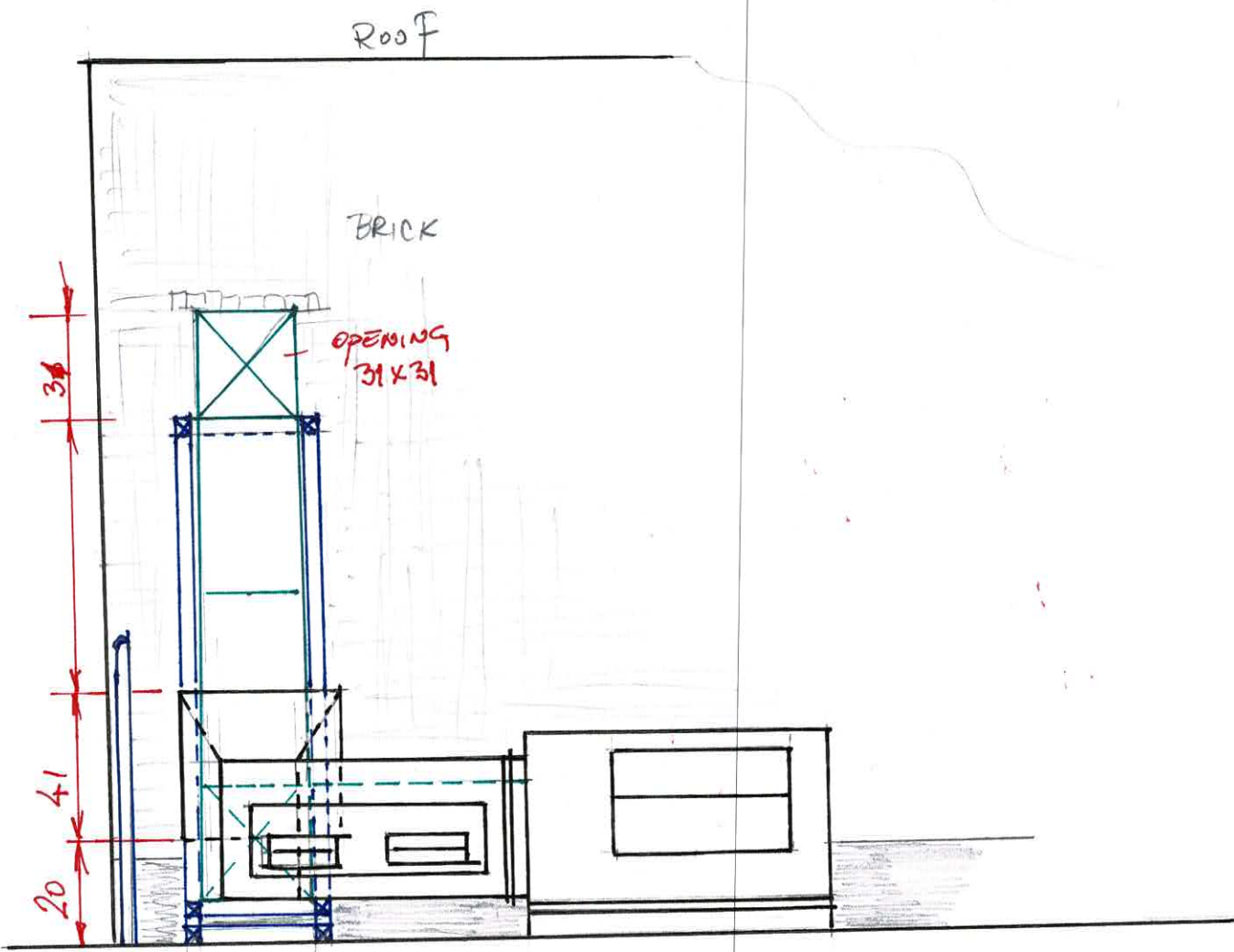
- Reviewed
- Furnish as Corrected
- Revise and Resubmit
- Rejected

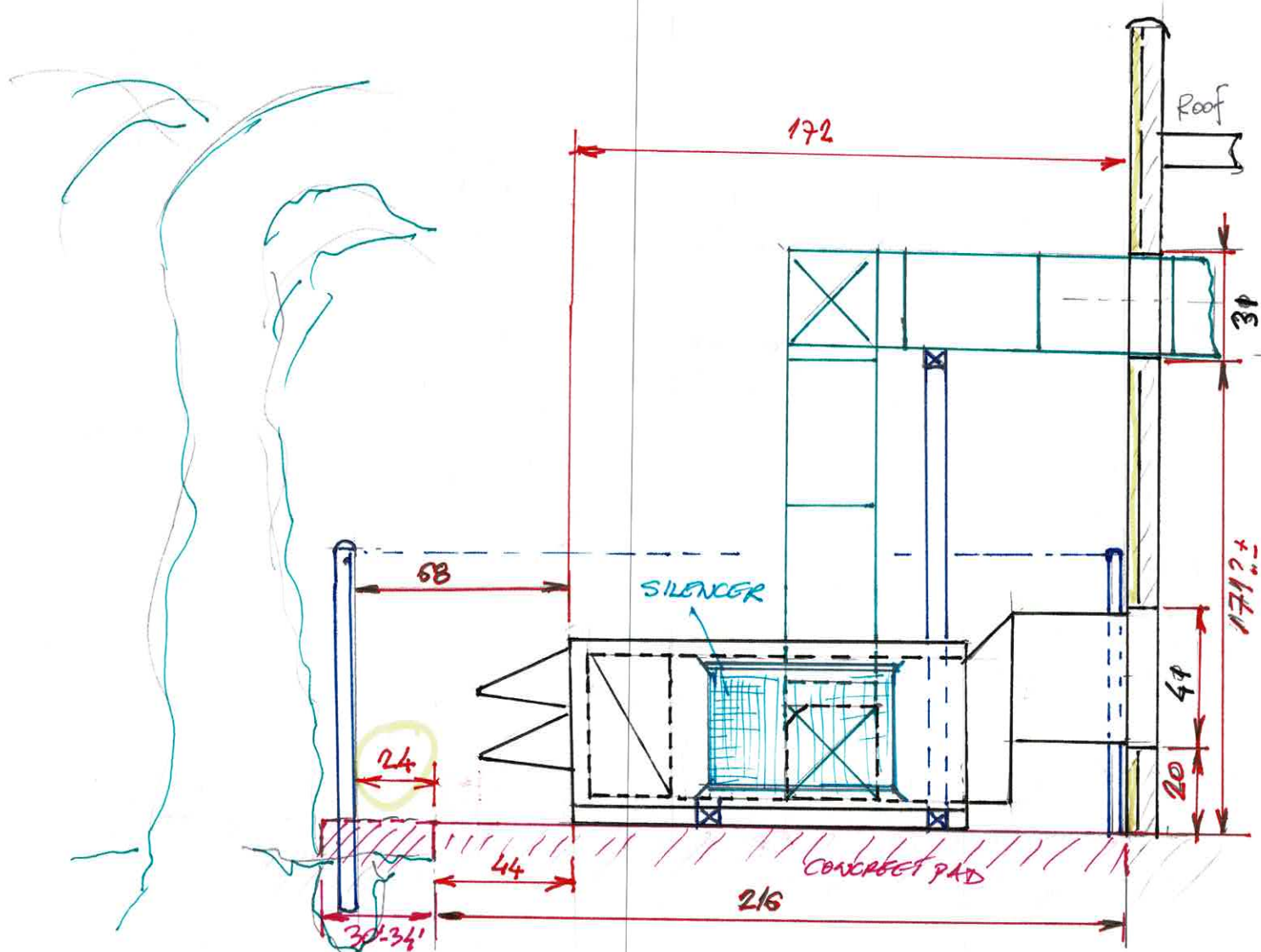
By: _____ Date: _____

1. Gate opening and location as shown in drawings is fine per Mr. HVAC.
2. Clouded Red dimensions as shown must be clear space to the fences.
3. Where fence is moving out 34" it would be best to have concrete paving.

- GMU ELEVATION DETAIL
- DUCT WORK







Fence Need to be moved
OR EXTEND CONCRETE PAD 30-34"

GMU - ELEVATION

GENERAL NOTES

FENCE POSTS INSTALLED ON CONCRETE WALLS SHALL BE ANCHORED INTO EMBEDDED METAL SLEEVES OR CORED HOLES BY FILLING THE ANNULAR SPACE WITH PEA GRAVEL FOLLOWED BY AN EPOXY RESIN ADHESIVE. THE EPOXY RESIN ADHESIVE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M 235, CLASS A, B OR C.

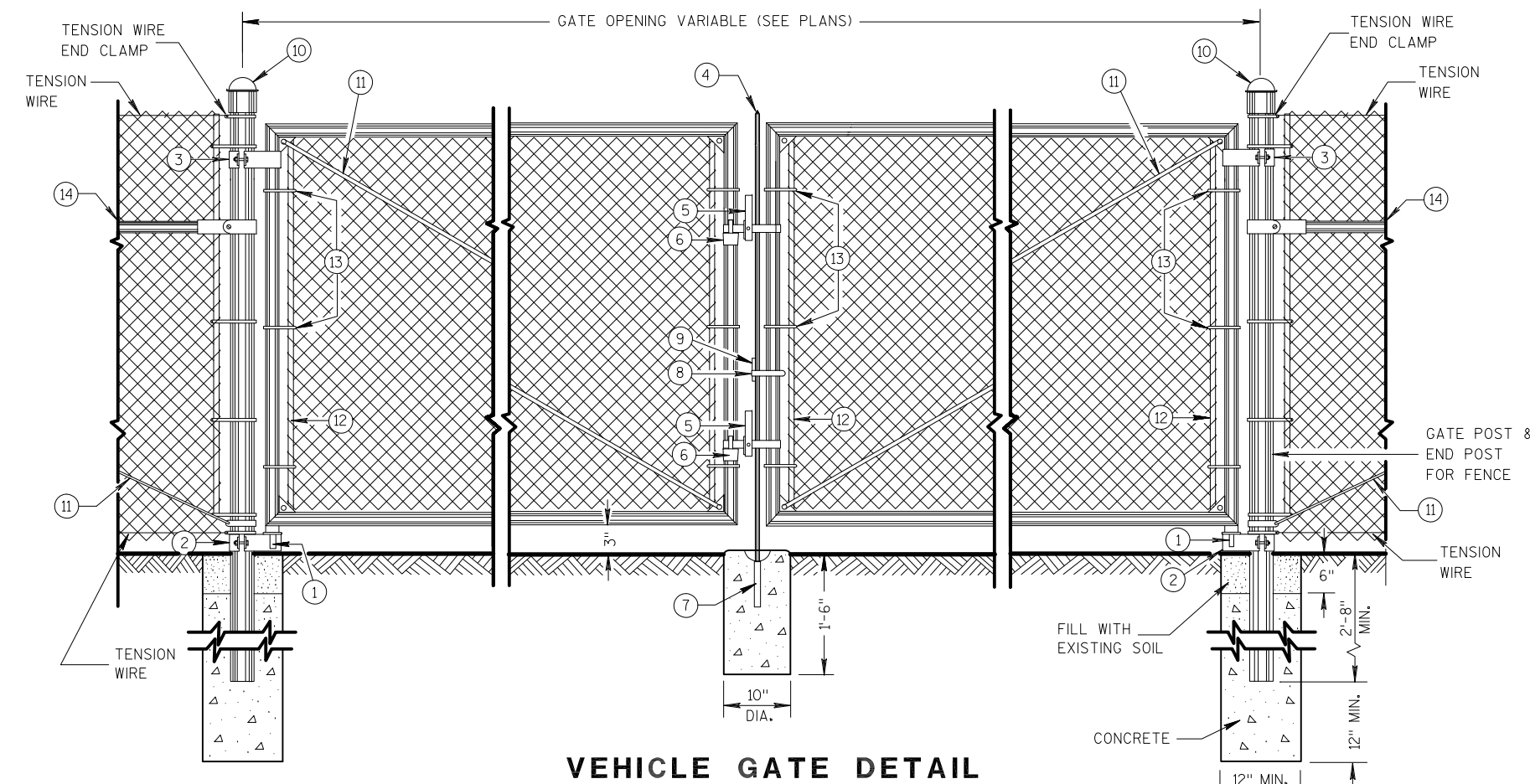
USE FENCE FABRIC KNUCKLED AT BOTH SELVAGES.

FOR LEAF GATES GREATER THAN 8 FEET WIDE, INSTALL INTERIOR VERTICAL BRACE RAIL AT 8 FOOT INTERVALS.

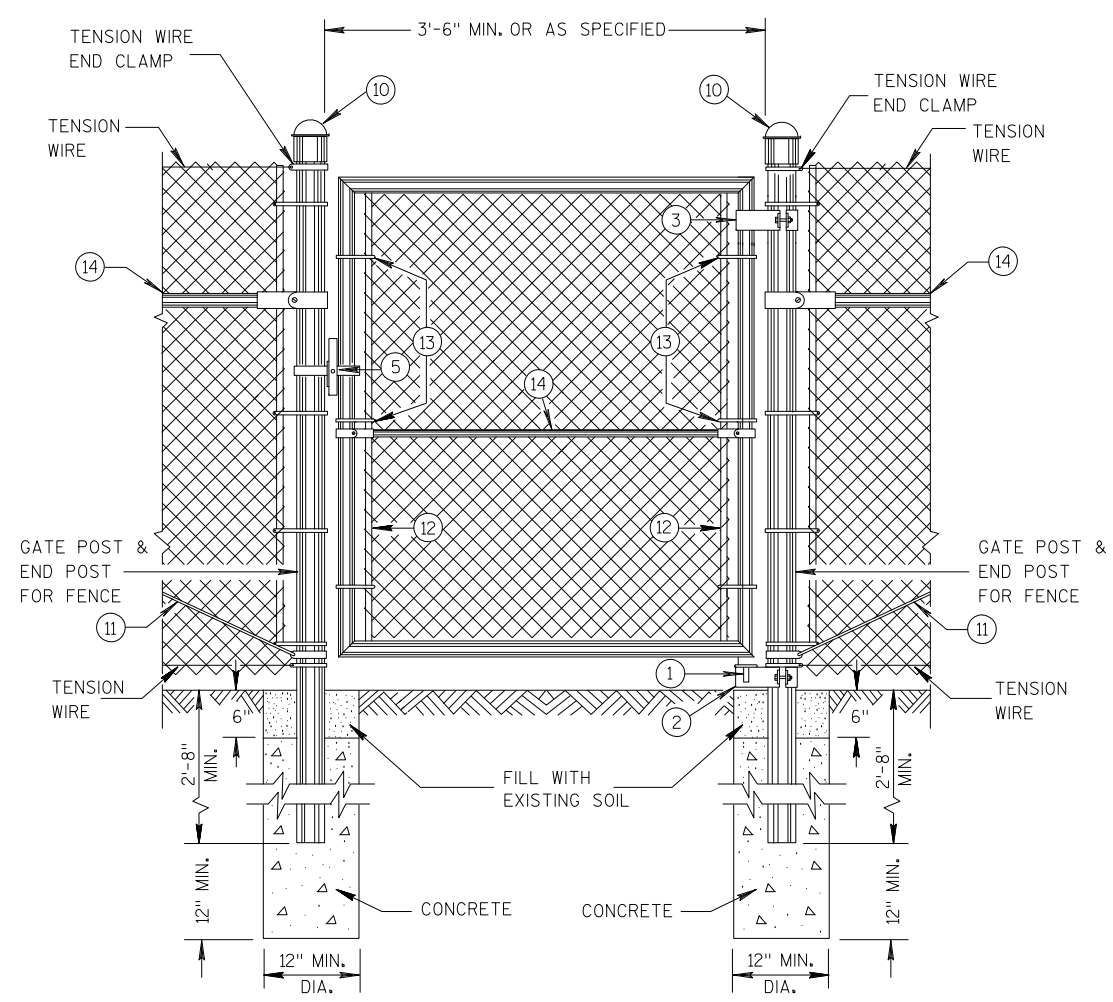
FOR FABRIC HEIGHTS GREATER THAN 8 FEET, INSTALL INTERIOR HORIZONTAL BRACE RAILS TO LEAF GATE.

MAXIMUM SAG FOR OUTER GATE MEMBER SHALL NOT EXCEED THE GREATER OF 1% OF THE LEAF GATE WIDTH OR 2 INCHES.

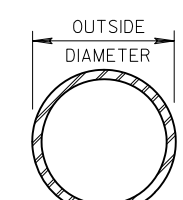
USE TYPE 2, CLASS 3, MARCELLED/CRIMPED, TENSION WIRE PER ASTM A 817.



VEHICLE GATE DETAIL



PEDESTRIAN GATE DETAIL



SP POST & RAIL
ROUND STEEL FENCE POST
(1.8 OZ./SQ. FT. COATING)

POST TYPE	OUTSIDE DIMENSION INCH	WALL THICKNESS INCH	WEIGHT LBS./FT
SP1	1.660	0.140	2,270
SP2	1.900	0.145	2,720
SP3	2.375	0.154	3,650
SP4	2.875	0.203	5,800
SP5	4.000	0.226	9,120
SP6	6.625	0.280	18,990
SP7	8.625	0.322	28,580

- LEGEND**
1. STRAIGHT PLUG
 2. BOTTOM HINGE
 3. TOP HINGE
 4. PLUNGER ROD
 5. FULL-CROW LATCH
 6. FORK CATCH *
 7. PLUNGER ROD CATCH
 8. LOCK KEEPER GUIDE
 9. LOCK KEEPER
 10. DOME TOPS
 11. TRUSS RODS
 12. TENSION BAR
 13. TENSION BANDS
 14. BRACE RAIL
- *NOT REQUIRED ON SINGLE SWING PEDESTRIAN GATE

REQUIRED FENCE POST SIZES

USE	FABRIC HEIGHTS FEET	POST TYPE
TERMINAL POSTS **	LESS THAN OR EQUAL TO 6 FT.	SP3
	GREATER THAN OR EQUAL TO 6 FT.	SP4
	LESS THAN OR EQUAL TO 6 FT.	SP2
LINE POSTS	LESS THAN OR EQUAL TO 8 FT.	SP3
	GREATER THAN OR EQUAL TO 8 FT.	SP4
	GREATER THAN OR EQUAL TO 8 FT.	FS2 OR FS2+
	GREATER THAN OR EQUAL TO 8 FT.	FS3

BRACE RAIL TYPES

USE	TYPE
BRACE RAIL	SP1 OR FS1

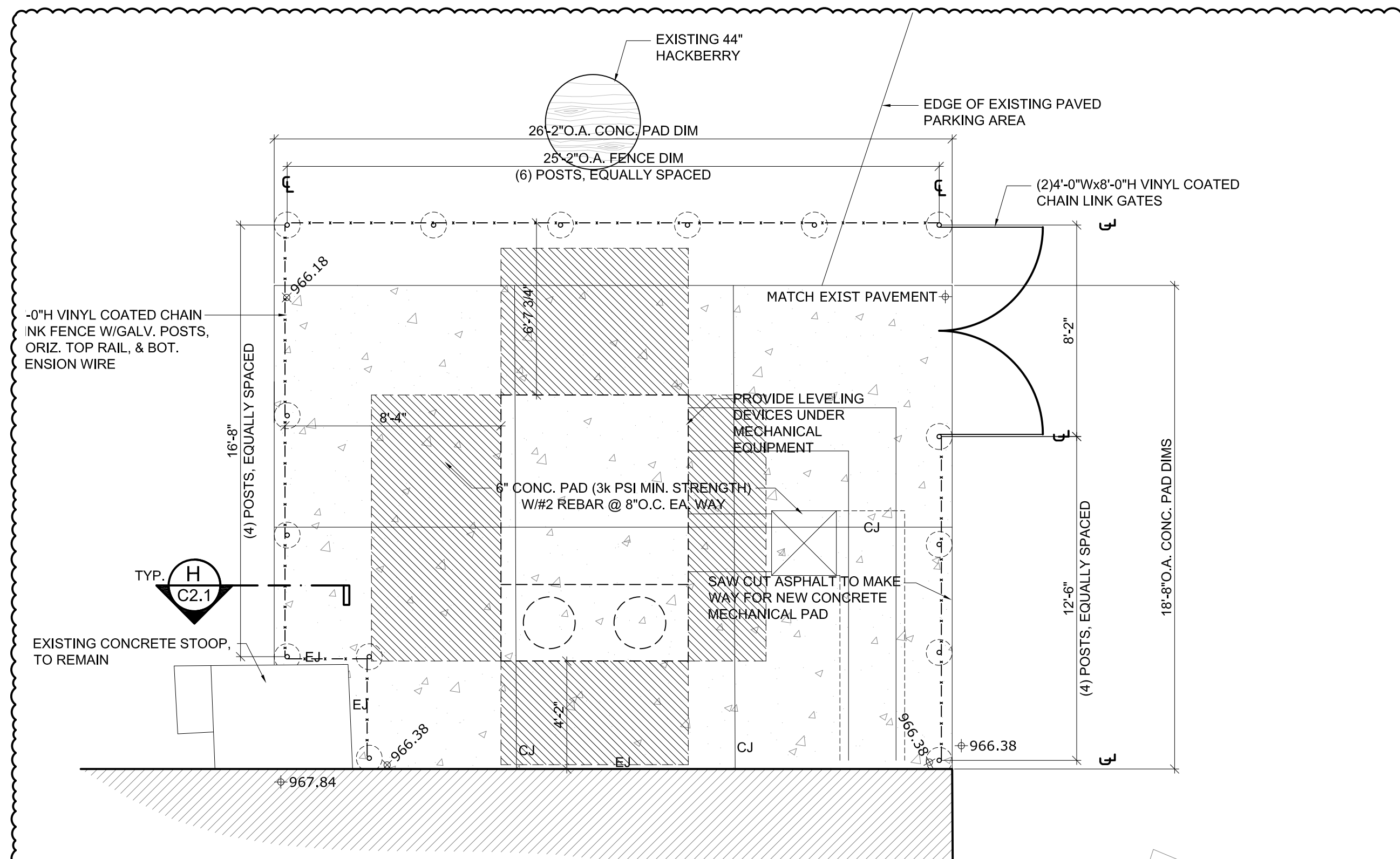
** INCLUDES END, CORNER, ANGLE, INTERSECTION AND INTERMEDIATE BRACED POSTS

REQUIRED POST SIZE FOR GATES

USE	LEAF WIDTHS FEET	POST TYPE
GATES	LESS THAN OR EQUAL TO 6 FT.	SP4
	LESS THAN OR EQUAL TO 13 FT.	SP5
	LESS THAN OR EQUAL TO 18 FT.	SP6
	LESS THAN OR EQUAL TO 23 FT.	SP7

J CHAIN LINK FENCE DETAILS

C2.1 SCALE: 1/2"= 1'-0"

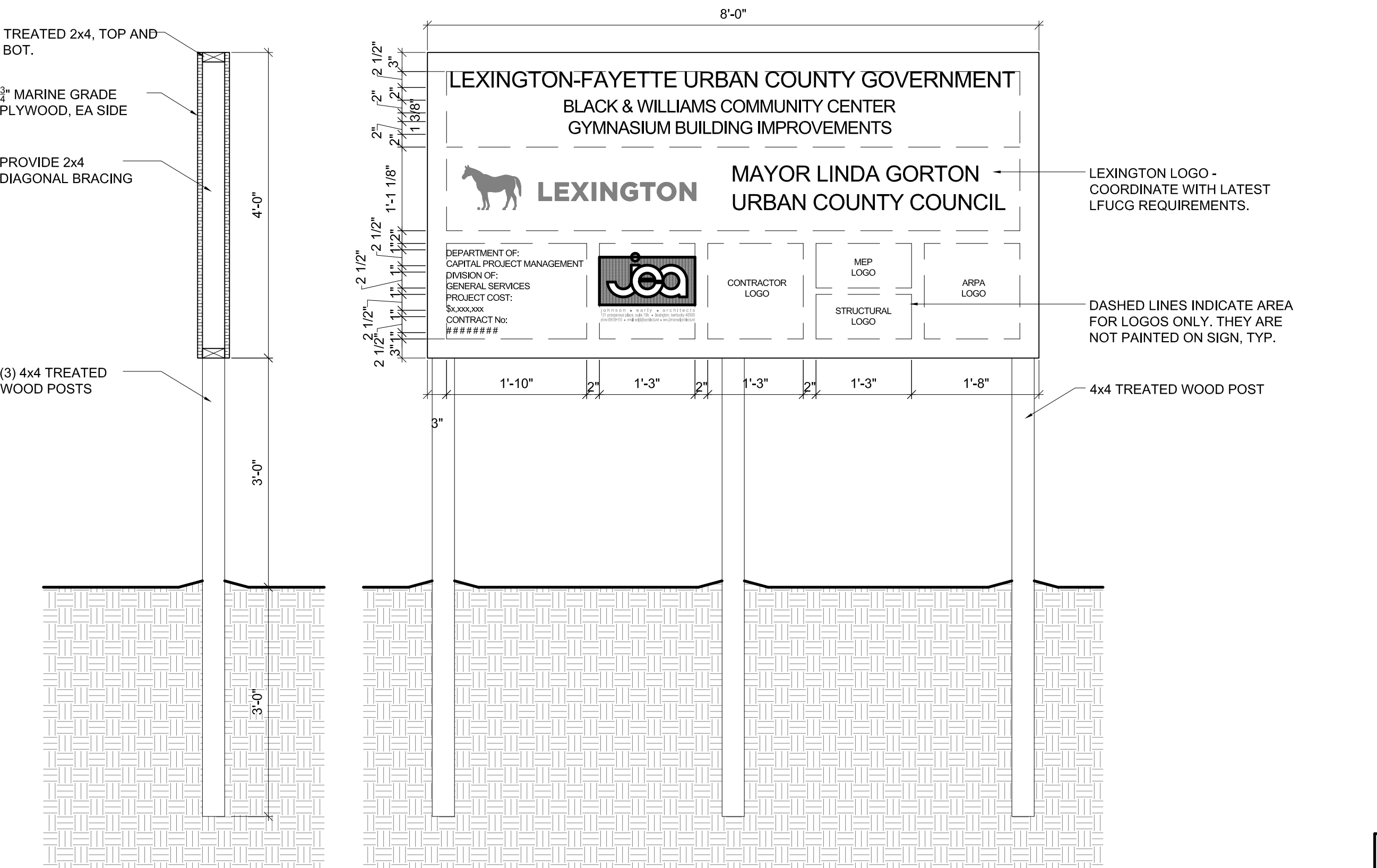


G MECHANICAL PAD PLAN

NOTE: PROVIDE LEVELING METHOD SO THAT MECHANICAL UNIT IS LEVEL ON CONCRETE PAD

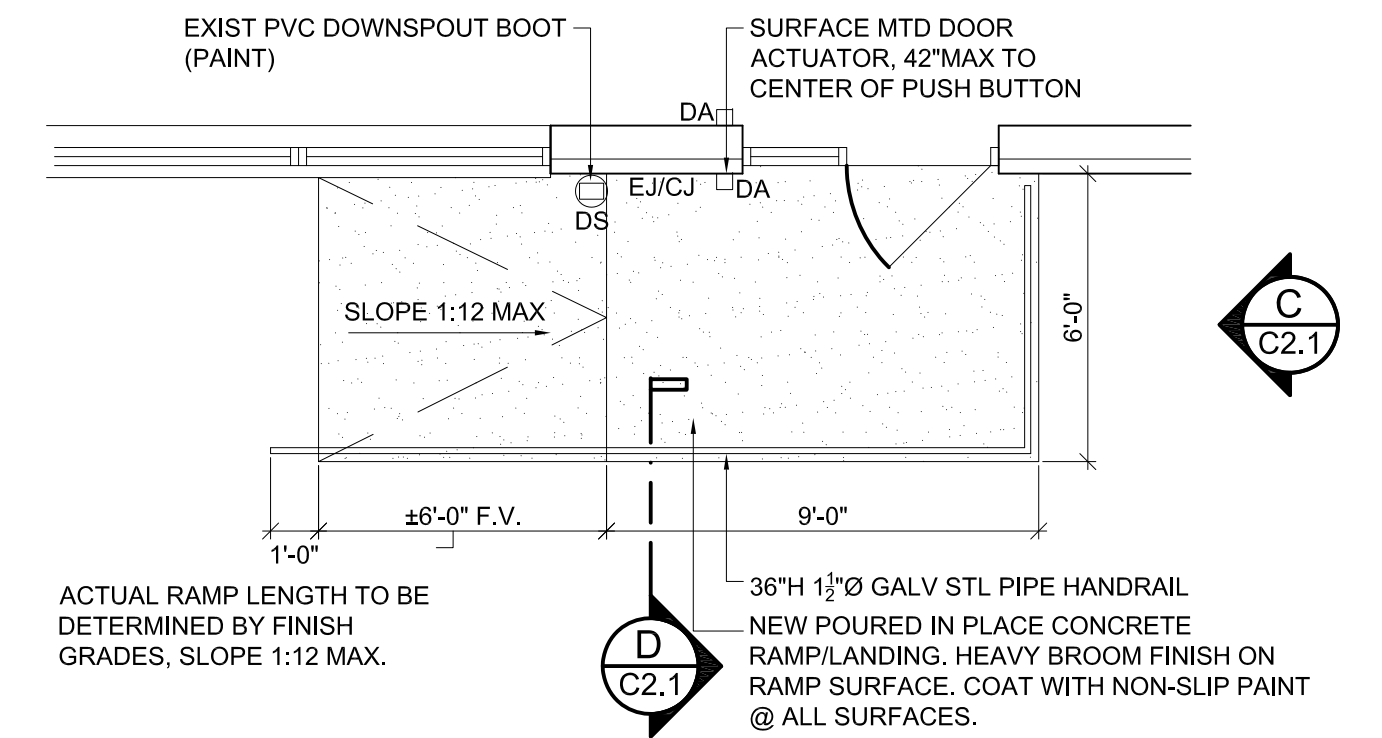
GENERAL NOTES:

- FURNISHED AND ERECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, IN ADDITION TO THE NORMAL WARNING AND REGULATORY SIGNS. SUBMIT SIGNAGE LAYOUT PRIOR TO FABRICATION. ARCHITECT TO PROVIDE LOGOS FOR ARCHITECT AND CONSULTANTS.
- SIGNAGE TO BE 3/4" MARINE GRADE PLYWOOD WITH SCREW TO BE STAINLESS STEEL. FRAMED AND BRACED SO AS TO REMAIN VERTICAL AND PLAINLY VISIBLE TO THE TRAVELING PUBLIC.
- SEAL ALL SURFACES TO BE PAINTED WHITE. ALL TEXT SHALL BE 3M VINYL DIE CUT BLUE (PANTONE 286) LETTERS, HELVETICA UPPERCASE CHARACTERS AND SIZED AS INDICATED.
- UPDATE AS NEEDED TO INDICATE THE APPROPRIATE MAYOR'S NAME.
- ERECT PRIOR TO STARTING CONSTRUCTION WORK AND PROVIDE AT LOCATIONS SPECIFIED ON THE PLANS OR IN THE PROPOSAL.
- SIGN TO BE KEPT CLEAN AND IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION.



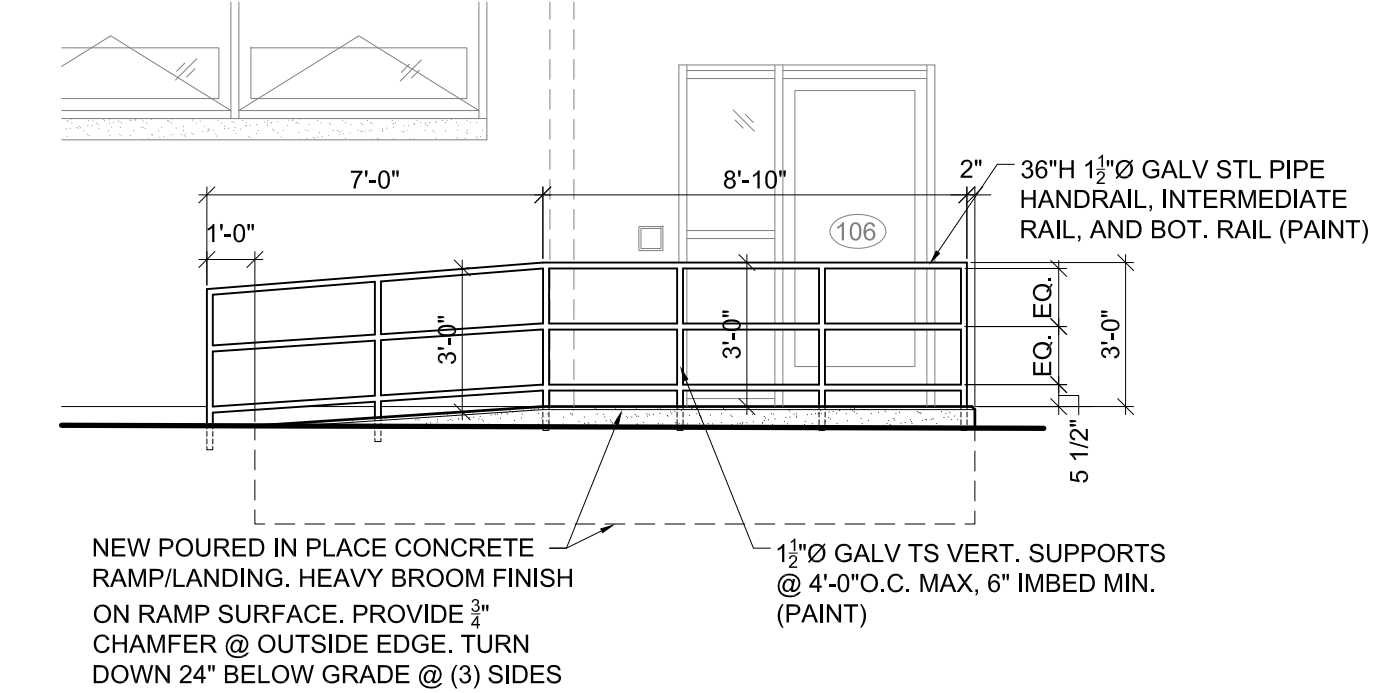
E CONSTRUCTION SIGNAGE

C2.1 SCALE: 3/4"= 1'-0"



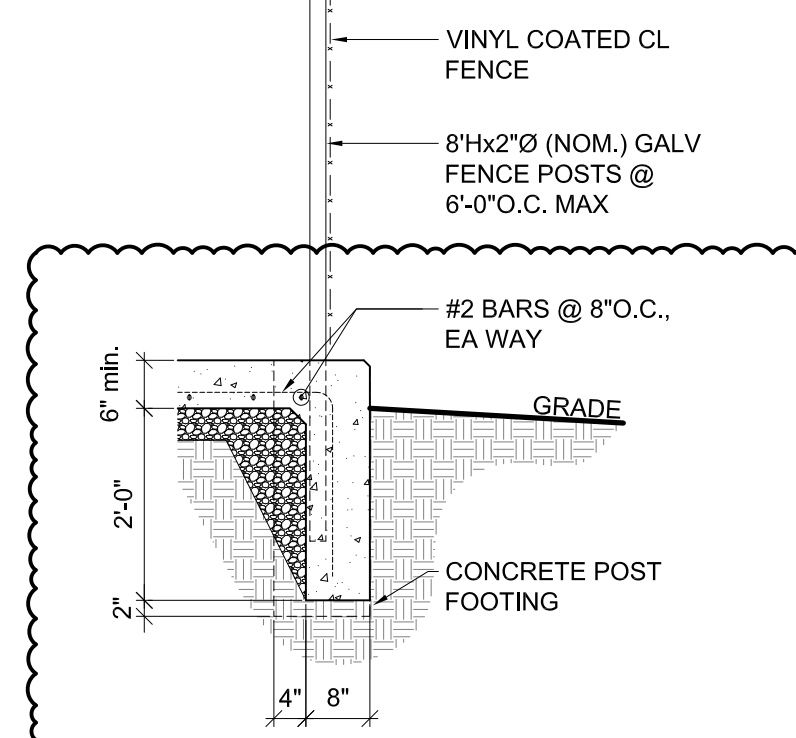
A ENTRY RAMP PLAN

C2.1 SCALE: 1/4"= 1'-0"



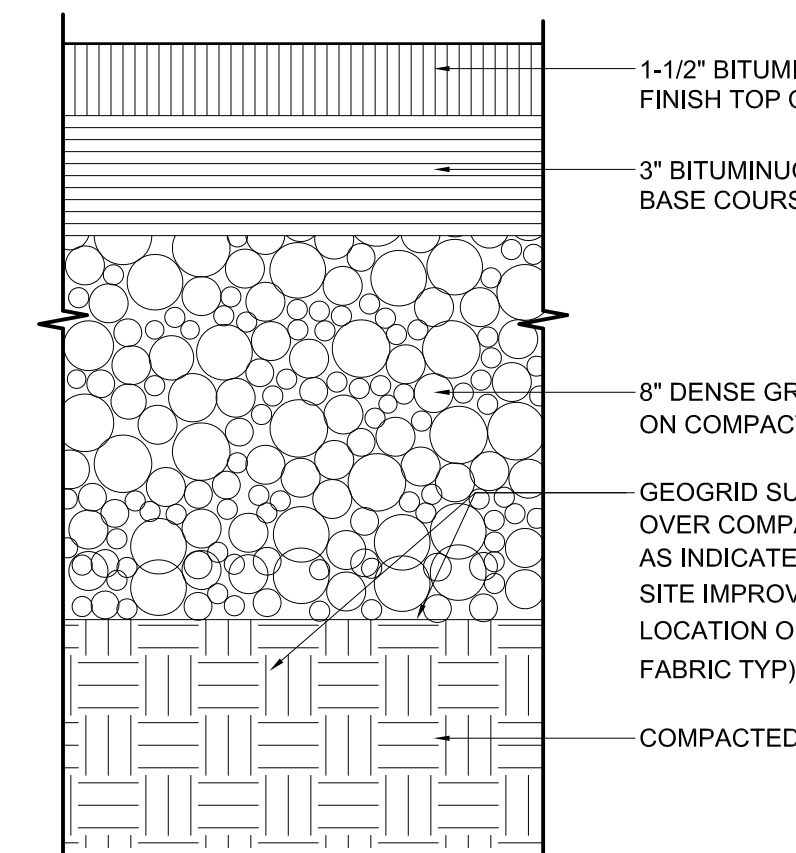
B ENTRY RAMP ELEVATION

C2.1 SCALE: 1/4"= 1'-0"



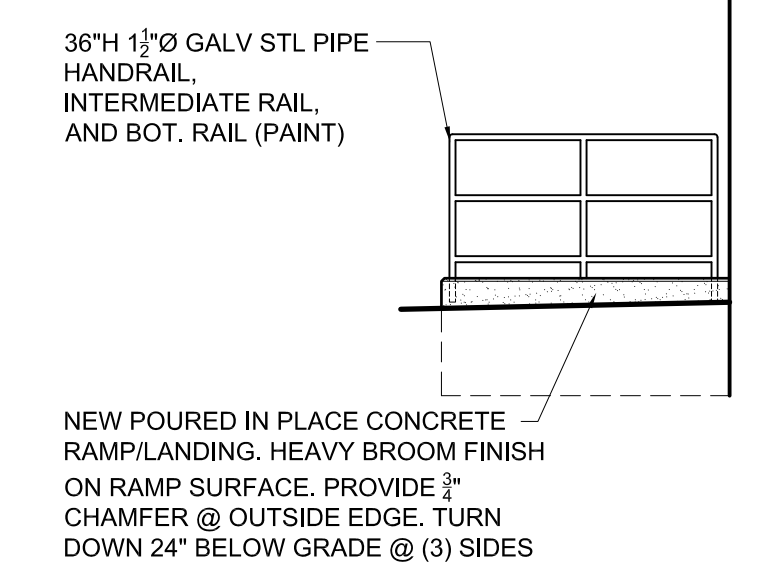
H MECH. PAD EDGE DETAIL

C2.1 SCALE: 1/4"= 1'-0"



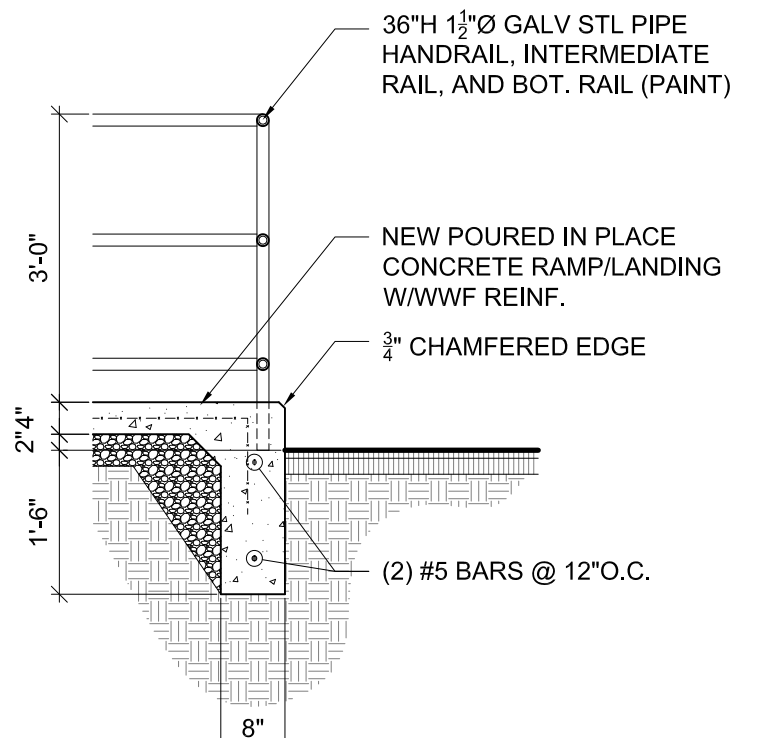
F PAVING DETAIL

C2.1 SCALE: 3"= 1'-0"



C ENTRY RAMP ELEVATION

C2.1 SCALE: 1/4"= 1'-0"



D RAMP DETAIL

C2.1 SCALE: 1/2"= 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	08/25/2023	1) RFI #17 / ASI #6; AUG 25, 2023
2	09/20/2023	2) RFI #17 / ASI #6; SEPT 20, 2023 (UPDATE)



BLACK & WILLIAMS NEIGHBORHOOD CENTER
GYMNASIUM BUILDING IMPROVEMENTS
 498 GEORGETOWN ST. - LEXINGTON, KENTUCKY

johnson . early . architects
 131 prosperous place, suite 19b • lexington, kentucky 40509
 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyje@jeaarchitects.net

jea

SITE IMPROVEMENTS DETAILS

DATE: APRIL 3, 2023 DRAWN BY: DGT CHECKED BY: JBE REVISIONS: C2.1



PROPOSAL REQUEST

#04 - PRICING

2025 Leestown Road, Suite B
Lexington, KY 40511
Phone (859) 254-0011

DATE **November 9, 2023**
LFUC-Black and Williams Neighborhood Ctr

tharris@omnicommercialky.com

CUSTOMER LFUC-Black and Williams Neighborhood Ctr
498 Georgetown St Lexington KY 40509
Att: Daniel Thornberry

DESCRIPTION	TOTAL
CO #2 PR-4 Enlarge GMU Pad and RFI-16	
Elliot Electric	\$0.00
Cass Concrete	\$0
Eads	\$600.00
12 Business Days are requested as Omni has been ready start this activity for two weeks at this point and the unit may show up in the next 3 weeks which the pad needs to cure for 30 days before we load it. The delay will continue to grow each day from this point until the day after Omni receives formal approval. LFUCG has rejected the request for time. Omni will proceed Under Protest on the GMU Pad modifications CO -#2. We request the time extension be granted and formalized as soon as possible.	
Notice that due to how close the pad and fence post are now to the tree we take no responsibility if the trees condition is impacted and starts to deteriorate due to these activities.	
Change Order Amount	\$600.00
GC Mark-Up	\$ 90.00
Bond Fee	\$ 18.00
TOTAL AMOUNT OF THIS CHANGE ORDER	\$ 708.00
Original Contract Amount	\$ 1,319,588.00
Contract Amount with Previous Change Orders #1	\$ 1,325,201.62
Total Contract Amount with Change Orders	\$ 1,325,909.62

Travis Harris

11/9/2023

Authorized by: Daniel Thornberry

Date

Authorized by: Travis Harris, Project Manager

Date

ESTIMATE

PROPOSAL REQUEST #04 - PRICING
(BACKUP DOCUMENTATION)

Prepared For

Omni Commercial

Eads Fence Co, Inc,

260 Rainbow Ridge
Richmond, Ky 40475
Phone: (859) 624-2525
Email: gbeads1234@gmail.com

Estimate # 1830
Date 10/12/2023

Description	Total
PR-4 Adding 6' fence	\$600.00
Subtotal	\$600.00
Total	\$600.00



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

PROPOSAL REQUEST #4A - PRICING

2025 Leestown Road, Suite B
Lexington, KY 40511
Phone (859) 254-0011

tharris@omnicommercialky.com

DATE **November 14, 2023**
LFUC-Black and Williams Neighborhood Ctr

CUSTOMER LFUC-Black and Williams Neighborhood Ctr
498 Georgetown St Lexington KY 40509
Att: Daniel Thornberry

DESCRIPTION	TOTAL
CO #3-GMU Pad Under Cut and DGA Back Fill	
Omni Commercial Items	\$0.00
Saturday 11/11/2023 Skid Steer Rate at \$120 PMH at 1.5 hours	\$180.00
Monday 11/13/2023 Skid Steer Rate at \$120 PMH at 10 hours	\$1,200.00
Monday 11/13/2023 1 Personnel Vibratory plate \$75 at 4 hours	\$300.00
Tuesday Export of Unsuitable Soil Spoils at \$120 PMH at 8 hours	\$960.00
Tuesday 1 Personnel Vibratory Plate \$75 hour at 1 hour	\$75.00
Lexington Quarry DGA At 24.19 tons	\$512
Vulcan Materials at 9.11 tons	\$235.48
Delayed 2 days requested - As previously informed in prior CO Omni is not responsible if and when the Tree adjacent to the equipment pad declines due to these activities	
Change Order Amount	\$3,462.92
GC Mark-Up	\$ 519.44
Bond Fee	\$ 103.89
TOTAL AMOUNT OF THIS CHANGE ORDER	\$ 4,086.25
Original Contract Amount	\$ 1,319,588.00
Contract Amount with Previous Change Orders #1 & #2	\$ 1,325,909.62
Total Contract Amount with Change Orders	\$ 1,329,995.87

Travis Harris

11/14/2023

Authorized by: Daniel Thornberry

Date

Authorized by: Travis Harris, Project Manager

Date

Customer Inquiry

Ticket number	Name	Product	Net tons	Hauler	Truck	Price	Material charge	Haul rate/ton	Fuel surcharge	Haul charge	Hauling tax	Material tax	Total charge	Date out	Phase Description
01378927	498 GEORGETOWN STREET	125	24.19	3325	BE32	14.95	361.64	4.75	6.89	121.79	7.31	21.70	512.44	11/13/23	2023017
<i>Total for Date out 11/13/23</i>			24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	
<i>Total for Phase 1</i>			24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	
<i>Total for Job 000017</i>			24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	
<i>Total for Customer 74805</i>			24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	
<i>Total</i>			24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	

131 Prosperous Place, Suite 19b
Lexington, Kentucky 40509
Phone: 859-259-1515
Fax: 859-231-5060
Email: thornberrrydg@jearchitects.net

Johnson - Early Architects

Proposal Request

PR#: 007

Project: Black & Williams Community Center - Gymnasium Improvements

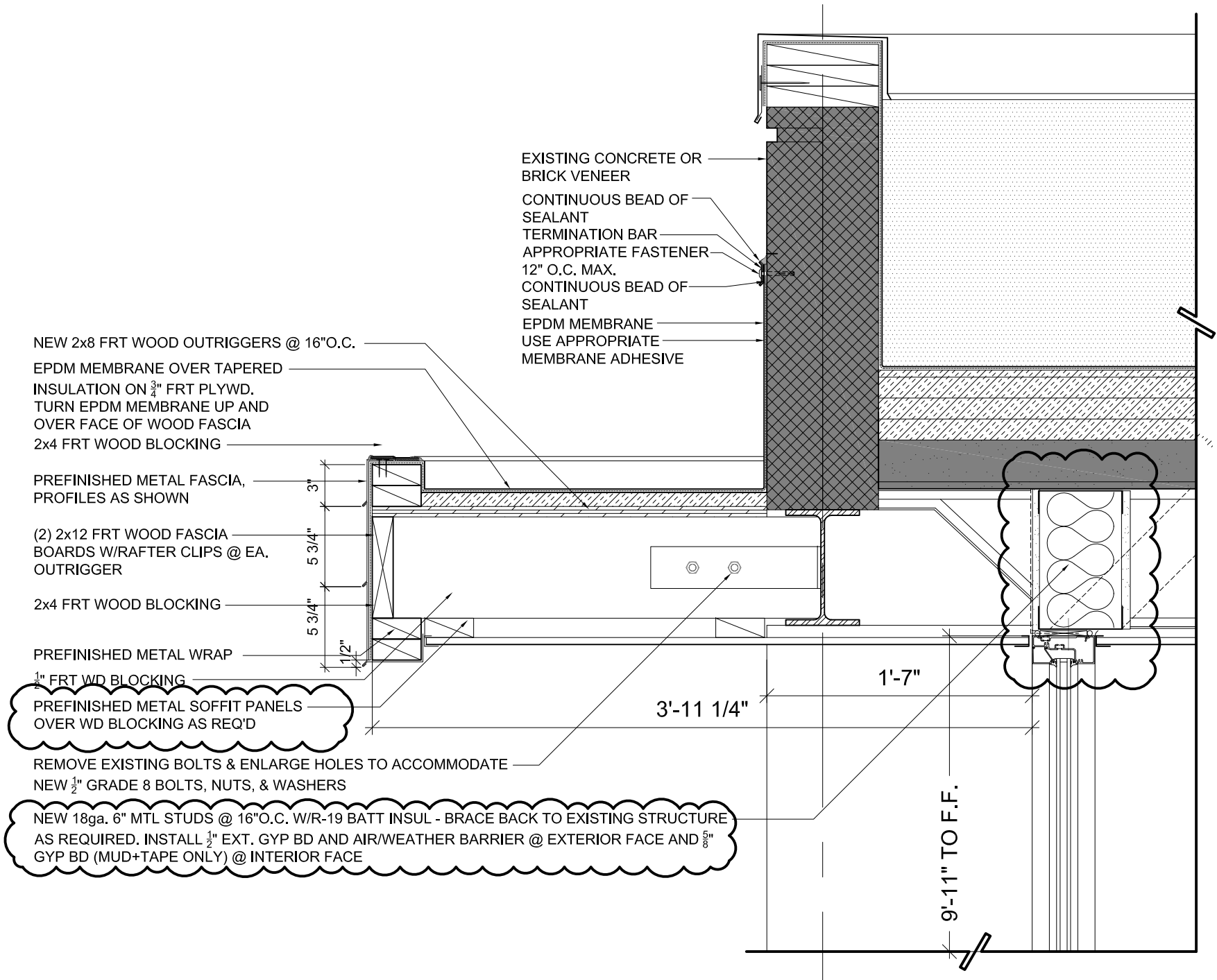
Date: October 24, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project construction documents. Please provide a labor/material breakdown for each item for review, if applicable.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

PR #7: ALUMINUM STOREFRONT BULKHEAD & JAMB EXTENTIONS

Per the found condition at the entry storefront location new metal stud bulkhead framing, sheathing, and insulation will be required in order to provide an attachment point for the storefront framing. See attached updated detail G/A1.3.



EXISTING CONCRETE OR BRICK VENEER
 CONTINUOUS BEAD OF SEALANT
 TERMINATION BAR
 APPROPRIATE FASTENER
 12" O.C. MAX.
 CONTINUOUS BEAD OF SEALANT
 EPDM MEMBRANE
 USE APPROPRIATE MEMBRANE ADHESIVE

NEW 2x8 FRT WOOD OUTRIGGERS @ 16"O.C.
 EPDM MEMBRANE OVER TAPERED INSULATION ON 3/4" FRT PLYWD.
 TURN EPDM MEMBRANE UP AND OVER FACE OF WOOD FASCIA
 2x4 FRT WOOD BLOCKING

PREFINISHED METAL FASCIA, PROFILES AS SHOWN

(2) 2x12 FRT WOOD FASCIA BOARDS W/RAFTER CLIPS @ EA. OUTRIGGER

2x4 FRT WOOD BLOCKING

PREFINISHED METAL WRAP

1/2" FRT WD BLOCKING

PREFINISHED METAL SOFFIT PANELS OVER WD BLOCKING AS REQ'D

REMOVE EXISTING BOLTS & ENLARGE HOLES TO ACCOMMODATE NEW 1/2" GRADE 8 BOLTS, NUTS, & WASHERS

NEW 18ga. 6" MTL STUDS @ 16"O.C. W/R-19 BATT INSUL - BRACE BACK TO EXISTING STRUCTURE AS REQUIRED. INSTALL 1/2" EXT. GYP BD AND AIRWEATHER BARRIER @ EXTERIOR FACE AND 5/8" GYP BD (MUD+TAPE ONLY) @ INTERIOR FACE



PROPOSAL REQUEST #7 PRICING
(BACKUP DOCUMENTATION)

Request for Change

P.O. Box 12111 (40580)
2424 Merchant Street
Lexington, KY 40511

RFC Number: 3
Date: 10/27/2023

We hereby propose to make the following changes:

RFC 3 - Wall added above storefront

To:
OMNI GENERAL CONTRACTING
PO BOX 34065
LEXINGTON, KY 40588

Project:
LFUCG Black & Williams
LEXINGTON, KY 40508

Requested By:	Phone:	E-mail:
Colin Wilkerson	(859) 721-2320	cwilkerson@grayhawk-ky.com

Recipients:	Phone:	E-mail:
Travis Harris	(859) 254-0011	tharris@omnicommercialky.com

Requested Change:	Change to Contract
Labor (6 hours)	\$ 339.00
Material	\$ 565.00
Trucking	\$ 150.00
24' of Fire Treated 2x6 (Labor + Material)	\$ 109.00

RFC Total

\$ 1,163.00

Pricing is based upon conditions or documents provided by the date issued above and is valid until 11/30/2023. Any changes to jobsite conditions, which may include but are not limited to weather, unforeseen conditions, progress of other trades, accelerated scheduling, or out-of-sequence work may result in additional costs. Unless stated otherwise the price above does not include overtime or costs for shift differential. Acceptance of this RFC by verbal direction, signed authorization, or issuance of a Change Order constitutes the acceptance of this document and all terms and conditions contained herein.

Colin Wilkerson **Grayhawk, LLC**

Author

Authorized Signature

OMNI GENERAL CONTRACTING

Date

Proposal Request

PR#: 008

Project: Black & Williams Community Center - Gymnasium Improvements

Date: December 8, 2023

This proposal shall *ONLY* be for the change in project scope; the demolition of the existing gypsum deck and installation of new metal deck/angles. The removal of the existing roofing membrane system and installation of the new 20-year warranted 60mil EPDM roof system are already in the contract. The \$30,588.00 Add Alternate #1 value shall be applied as a credit to against this new scope work.

The due date for this PR#8 shall be 12/22/23.

Each proposal shall have a full material and labor breakdown including OH&P of 15% maximum. Omni Construction to engage all (4) currently active roofing subcontractor for participation, including but not limited to Eskola Roofing, Burnett Roofing, Swift Roofing, and Semper-Fi Roofing. Omni Construction to provide proposal breakdown for **each** participating contractor for LFUCG to evaluate and select from all proposals, not a single proposal selected by the general contractor.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project scope.

PR #8: GYPSUM ROOF DECK REMOVAL & REPLACEMENT

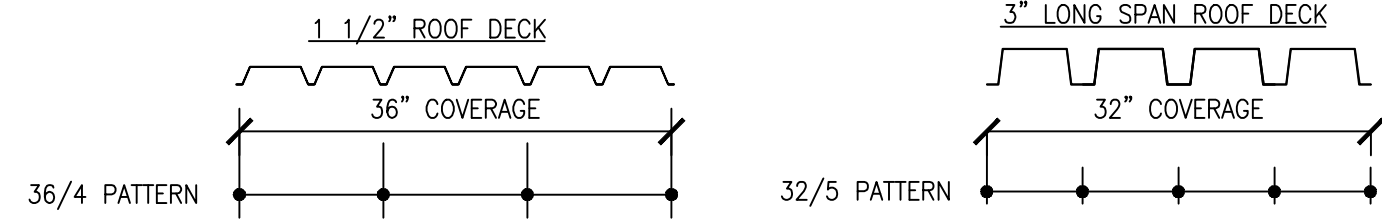
The following proposal request is being issued to formalize additional costs associated with a change to the roof deck repair method & reroof method as outlined in the construction documents.

1. Demolish the existing roof membrane, insulation, reinforced poured gypsum roof deck, & gypsum formboard over the entire roof area (Low, High 'A', High 'B'), and haul off-site. Protect all existing work-in-place during demolition and perform the demolition/deck replacement in a manner to prevent water intrusion during construction. Any damage to work-in-place or the existing structure during deck removal & replacement to be corrected at contractor's expense.

December 8, 2023

2. Install new 22 gauge metal deck over the entire roof area; fasten to the existing steel roof structure per drawings & specifications from Brown + Kubican structural engineers (attached).
 - a) 1 ½" metal deck to be utilized at the "Low Roof Area"
 - b) 1 ½" metal deck to be utilized at the "High Roof Area 'B'"
 - c) 1 ½" or 3" metal deck to be utilized at the "High Roof Area 'A' ". Deck type to be contractor's option.
3. Install new steel edge support/attachment angles and bent plates as outlined in the drawings & specifications (attached).
4. Install mechanically fastened roof insulation and 60mil EPDM (20 year warranted) roof system as outlined in the construction documents for the base bid amount; the base bid amount for this item remains in effect and no new pricing is required to be submitted as part of this PR.
5. Provide a credit to the owner for add alternate #1 (upgrade roof warranty to 30 year) in the amount of \$30,588.00.
6. See attached supplemental information for additional details.
7. Each participating roofing subcontractor to provide an estimated timeline for the performance of their work, procuring metal deck and roofing materials, and details regarding the roof material manufacturers they will be utilizing. This information to be provided for each proposal for LFUCG and JEA's evaluation.

FASTEN STEEL ROOF DECK AS INDICATED BELOW FOR EACH DECK TYPE AS MARKED ON PLAN.
 A. FASTEN DECK UNITS AT ENDS AND AT INTERMEDIATE SUPPORTS WITH FASTENERS AS NOTED IN SCHEDULE ACCORDING TO FOLLOWING PATTERNS.

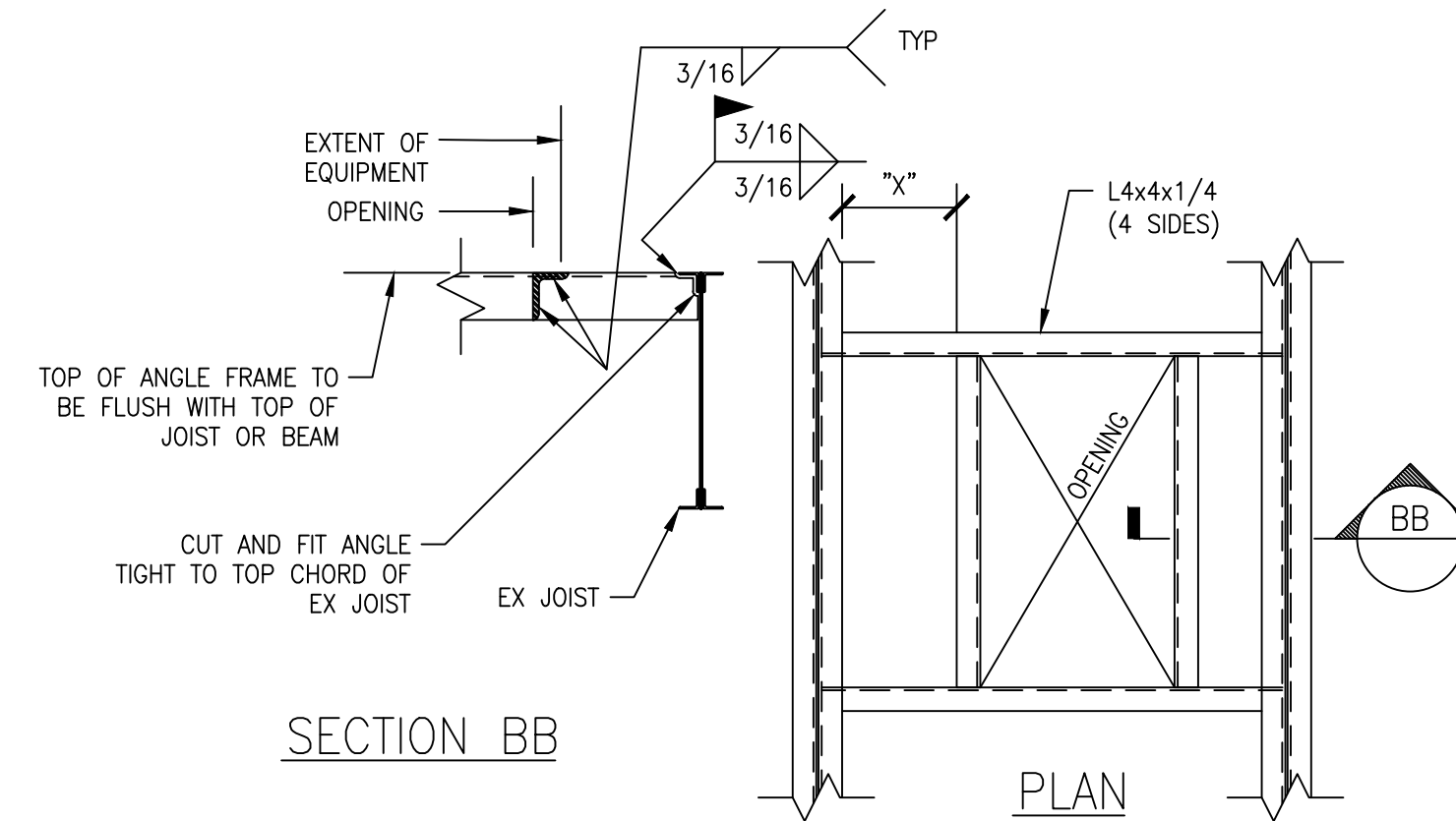


DECK TYPE	PANEL ENDS AND INTERMEDIATE SUPPORTS	DECK SIDE LAPS
1.5WR22	#12 TEK SCREW OR P.A.F. PIN @ 36/4 PATTERN	#10 TEK SCREW @ 36" O.C. MAX
3.ON22	#12 TEK SCREW OR P.A.F. PIN @ 32/5 PATTERN	#10 TEK SCREW @ 36" O.C. MAX

B. FASTEN DECK SIDE LAPS, INCLUDING DECK TO CLOSURE PLATES, WITH #10 SELF DRILLING SCREWS AS NOTED IN SCHEDULE.
 C. FASTEN DECK PERIMETER SIDE EDGES (PARALLEL TO DECK SPAN), INCLUDING CLOSURE PLATES, TO STEEL SUPPORTS WITH #12 TEK SCREWS OR P.A.F. PIN SPACED AT 36" O.C.

STEEL ROOF DECK FASTENING SCHEDULE

NOT TO SCALE



CONDITION AT EXISTING JOIST CONSTRUCTION

NOTES:

- IF "X" IS 4" OR LESS, ELIMINATE ANGLE PARALLEL TO JOIST OR BEAM.
- PROVIDE ANGLE FRAME FOR ALL OPENINGS GREATER THAN 10" DIAMETER OR SQUARE.
- PROVIDE ANGLES BENEATH THE PERIMETER OF ALL ROOF TOP EQUIPMENT. ROOF DECK PENETRATION MAY OR MAY NOT OCCUR.
- PROVIDE ANGLE FRAME AT ALL ROOF DRAINS AND EXHAUST FANS REGARDLESS OF ROOF PENETRATION SIZE. FIELD VERIFY LOCATIONS.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL OPENINGS.

TYPICAL ROOF FRAME OPENING DETAIL

NOT TO SCALE

GENERAL NOTES

DESIGN LOADS

STRUCTURAL RISK CATEGORY	CATEGORY II
ROOF LIVE LOAD	20 PSF MIN
ROOF SNOW LOAD (PER ASCE 7-10)	
GROUND SNOW LOAD	$P_g = 15$ PSF
IMPORTANCE FACTOR	$I_s = 1.0$
SNOW EXPOSURE FACTOR	$C_e = 1.0$
THERMAL FACTOR (BUILDING)	$C_t = 1.0$
RAIN ON SNOW SURCHARGE	$P_r = 5$ PSF
FLAT-ROOF SNOW LOAD* ($P_f = 0.7C_eC_tI_sP_g$) (BUILDING)	$P_f = 10.5$ PSF
MINIMUM-ROOF SNOW LOAD (I_sP_g)	$P_m = 15$ PSF
*INCREASE FOR DRIFTING PER ASCE 7-10, SECTIONS 7.7 & 7.8	

DESIGN STRESSES

CHANNELS, ANGLES, PLATES AND BARS (ASTM A572)	$f_y = 36,000$ PSI
STEEL ROOF DECK (ASTM A653)	$f_y = 33,000$ PSI

GENERAL

- THE REQUIREMENTS OF THESE GENERAL NOTES APPLY UNLESS NOTED OTHERWISE ON PLANS OR IN SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONTRACT DOCUMENTS, ADDENDA, AND SUPPLEMENTARY INFORMATION AND DISTRIBUTING SUCH TO ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO THE PREPARATION AND SUBMITTAL OF SHOP DRAWINGS, FABRICATION, AND INSTALLATION OF ANY STRUCTURAL MEMBERS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES THAT MAY EXIST.
- DO NOT SCALE DRAWINGS.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION AND IS THEREFORE DEPENDENT UPON DIAPHRAGM ACTION OF THE ROOF DECK AND ATTACHMENT TO THE SHEAR WALLS FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BRACING REQUIRED TO BRACE AND LATERALLY SUPPORT THE BUILDING UNTIL THESE ELEMENTS ARE COMPLETE AND CAPABLE OF PROVIDING THIS SUPPORT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS TO CONSTRUCT THE STRUCTURE, INCLUDING VERIFICATION OF LOAD CAPACITY OF THE STRUCTURE, NEW OR EXISTING, TO SUPPORT CONSTRUCTION ACTIVITIES, EQUIPMENT, ETC. AND FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED ON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED. DAMAGE TO THE STRUCTURE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE CORRECTED BY THE RESPONSIBLE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SHOP DRAWINGS MUST BE CHECKED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION.
- ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS ARE IDEALIZED ELEVATIONS BASED ON DECK THICKNESS AND SLOPES SHOWN ON DRAWINGS AND DO NOT ACCOUNT FOR BEAM OR JOIST CAMBER. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE ANY CAMBER OF THEIR WORK WITH OTHER TRADES AND ADJUST ELEVATIONS AS NECESSARY TO ACCOUNT FOR DEAD LOAD DEFLECTION AND THIS CAMBER.
- EXISTING CONSTRUCTION SHOWN IS BASED ON LIMITED FIELD OBSERVATION AND/OR GENERAL CONSTRUCTION PRACTICE AND IS NOT GUARANTEED TO BE TRUE OR EXACT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS RELEVANT TO THEIR WORK PRIOR TO CONSTRUCTION.
- DETAILS LABELED TYPICAL ON THESE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR AND SHALL APPLY REGARDLESS OF WHETHER THEY ARE KEYS ON THE PLANS. CONSTRUCTION NOT SPECIFICALLY INDICATED BY DETAIL OR SECTION SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

STEEL CONSTRUCTION

- STEEL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE AISC SPECIFICATIONS AND CODE OF STANDARD PRACTICE, AND THE AWS STRUCTURAL WELDING CODE.
- WELDING ELECTRODES SHALL BE E70XX EXCEPT WHERE OTHER ELECTRODES ARE REQUIRED FOR COMPATIBILITY WITH MATERIAL BEING WELDED.
- SEE SPECIFICATIONS FOR ALL PRIMING REQUIREMENTS.
- ALL SHOP AND FIELD WELDING SHALL BE DONE BY A CERTIFIED WELDER.
- MISCELLANEOUS STEEL MEMBERS (ANGLES, TEES, CHANNELS, ETC.) THAT SUPPORT DECK AROUND THE PERIMETER OF A FLOOR OR ROOF AREA SHALL BE CONTINUOUS, EXCEPT AT BUILDING EXPANSION JOINTS. WHERE SPLICES IN THESE MEMBERS MUST OCCUR TO FACILITATE ERECTION, PROVIDE PARTIAL PENETRATION SQUARE GROOVE WELD (BUTT JOINT) WITH 3/16" EFFECTIVE THROAT ON ONE SIDE, EACH LEG.

STEEL DECK CONSTRUCTION

- STEEL DECK DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE LATEST AND THE STEEL DECK INSTITUTE SPECIFICATIONS.
- STEEL ROOF DECK SHALL BE CONTINUOUS OVER A MINIMUM OF 3 SPANS.
- DO NOT HANG OR SUPPORT ANY LOADS SUCH AS STUD WALLS, BULKHEADS, PIPES, ETC. FROM STEEL ROOF DECK.

SHORING / BRACING DESIGN AND INSTALLATION

- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENGINEERING, SUPPLYING, AND INSTALLING ALL TEMPORARY SHORING AND BRACING NECESSARY TO RESIST GRAVITY AND LATERAL LOADS AS THE EXISTING BUILDING IS SELECTIVELY DEMOLISHED AND RECONSTRUCTED WITH NEW STRUCTURAL ELEMENTS. THE DESIGN OF SHORING SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF KENTUCKY IN CONSIDERATION OF APPLIED, POTENTIAL AND CONSTRUCTION LOADING; CONSTRUCTION METHODS, TECHNIQUES AND SEQUENCE; LOADING AND ANALYSIS OF THE EXISTING STRUCTURE AND ITS ABILITY TO TRANSFER LOADS TO THE SHORING AND BRACING SYSTEM; AND SCHEDULE. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT (FOR THEIR RECORDS) TEMPORARY SHORING DRAWINGS (PLANS AND ALL NECESSARY DETAILS) THAT ARE SEALED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION. SHORING SUBMITTAL SHALL ALSO INCLUDE A WRITTEN DESCRIPTION OF THE INTENDED CONSTRUCTION SEQUENCE, PREPARED BY THE SHORING ENGINEER, AND REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT FOR THEIR RECORDS. SHORING SUBMITTAL SHALL INCLUDE WRITTEN DESCRIPTION OF LOADS AND LOAD COMBINATIONS CONSIDERED. SUBMITTALS SHALL BE RECEIVED FOR RECORD, AND ARE NOT CONSIDERED AN ACTION SUBMITTAL BY THE ARCHITECT.
- SHORING AND BRACING IS REQUIRED, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - WHERE DEMOLITION OF ROOF MEMBERS (DECKING) REMOVE LATERAL BRACING TO WALL MEMBERS.
 - WHERE DEMOLITION OF ROOF DIAPHRAGM LATERAL LOAD RESISTING SYSTEM REMOVES BUILDING RESISTANCE TO LATERAL WIND, SEISMIC, OR EARTH LOADS.
- CEASE DEMOLITION OPERATIONS AND NOTIFY ARCHITECT IF ANY EXISTING STRUCTURAL ELEMENT TO REMAIN IN SERVICE DEVELOPS CRACK, BOW, DEFLECTION, ETC. OR IF ANY COMPONENT OF THE EXISTING STRUCTURE APPEARS DAMAGED, CORRODED OR OTHERWISE COMPROMISED.

ROOF, FLOOR, OR WALL OPENINGS

- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE NUMBER, SIZE, AND LOCATION OF ALL SLEEVES AND OPENINGS REQUIRED FOR MECHANICAL OR ELECTRICAL ITEMS.
- SLEEVES AND OPENINGS SHALL BE LOCATED IN A MANNER THAT WILL MAINTAIN THE STRUCTURAL INTEGRITY OF THE ROOF, FLOOR, OR WALL SYSTEM.
- NO STRUCTURAL ELEMENTS ARE TO BE CUT UNLESS SPECIFICALLY APPROVED BY THE ENGINEER.

RENOVATION AND REUSE OF EXISTING STRUCTURES

- THE OWNER SHALL UNDERSTAND THAT EXISTING STRUCTURES MAY HAVE BEEN CONSTRUCTED PRIOR TO BUILDING CODE ADOPTION, TO A PREVIOUS CODE EDITION, OR NONCOMPLIANT TO CODE AND THAT THE ENGINEER SHALL NOT BE RESPONSIBLE FOR DISCOVERY OF CONSTRUCTION TECHNIQUES, CONDITION, OR ADEQUACY OF EXISTING STRUCTURE TO REMAIN STRUCTURALLY UNMODIFIED AS PART OF THIS WORK.
- IN ELECTING TO REUSE AN EXISTING STRUCTURE THE OWNER SHALL REMAIN SOLELY RESPONSIBLE FOR THE CONDITION AND ADEQUACY OF THE EXISTING STRUCTURE, EXCEPT WHERE MODIFIED BY THE CONSTRUCTION PROJECT.
- DISCOVERY OF AND PROVISION FOR DEFERRED MAINTENANCE AND REPAIR OF THE STRUCTURE ARE NOT INCLUDED IN THE SCOPE OF THE ENGINEER OR CONSTRUCTION DOCUMENTS EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS.
- IN KEEPING WITH CURRENT CODE PROVISIONS, EXISTING LOAD-CARRYING STRUCTURAL ELEMENTS MAY HAVE NOT BEEN STRENGTHENED, SUPPLEMENTED, REPLACED, OR OTHERWISE ALTERED IF CALCULATIONS SHOWN:
 - NO MORE THAN 5% INCREASE IN DESIGN GRAVITY LOAD APPLIED TO THAT EXISTING STRUCTURAL ELEMENT AS A RESULT OF THE INTENDED ALTERATIONS.
 - NO MORE THAN 10% INCREASE IN DEMAND-CAPACITY RATIO OF AN EXISTING LATERAL LOAD-CARRYING ELEMENT OR ALTERATION RESULTING IN A STRUCTURAL IRREGULARITY.

SITE OBSERVATION BY THE STRUCTURAL ENGINEER

- THE ENGINEER HAS NO CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES; FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK; OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ACTS OR OMISSIONS OF THE CONTRACTOR, ANY SUBCONTRACTOR, MATERIAL SUPPLIER, OR AGENTS THEREOF. THE ENGINEER DOES NOT GUARANTEE THE PERFORMANCE OF THE CONTRACTOR AND SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM ITS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR APPLICABLE LAWS, CODES, RULES, OR REGULATIONS. THE CONTRACTOR SHALL MAINTAIN SOLE RESPONSIBILITY FOR DEFECTS AND DEFICIENCIES, INCLUDING PROVIDING TESTING AND INSPECTION ONCE SUCH ARE DISCOVERED, AND FOR PROVIDING ENGINEERED CORRECTIVE ACTION FOR DESIGN TEAM REVIEW.
- PERIODIC SITE OBSERVATION BY FIELD REPRESENTATIVES OF BROWN/KUBICAN, P.C. IS SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK OF THE CONTRACTOR IS PROCEEDING IN GENERAL ACCORDANCE WITH THE STRUCTURAL CONTRACT DOCUMENTS. THIS LIMITED SITE OBSERVATION SHALL NOT BE CONSTRUED AS EXHAUSTIVE OR CONTINUOUS TO CHECK THE QUALITY, QUANTITY, OR ACCURACY OF THE CONSTRUCTION WORK, BUT RATHER PERIODIC IN EFFORT TO INFORM THE CLIENT ABOUT GENERAL PROGRESS AND TO ADVISE THE CLIENT ABOUT OBSERVED DEFECTS AND DEFICIENCIES IN THE WORK OF THE CONTRACTOR.

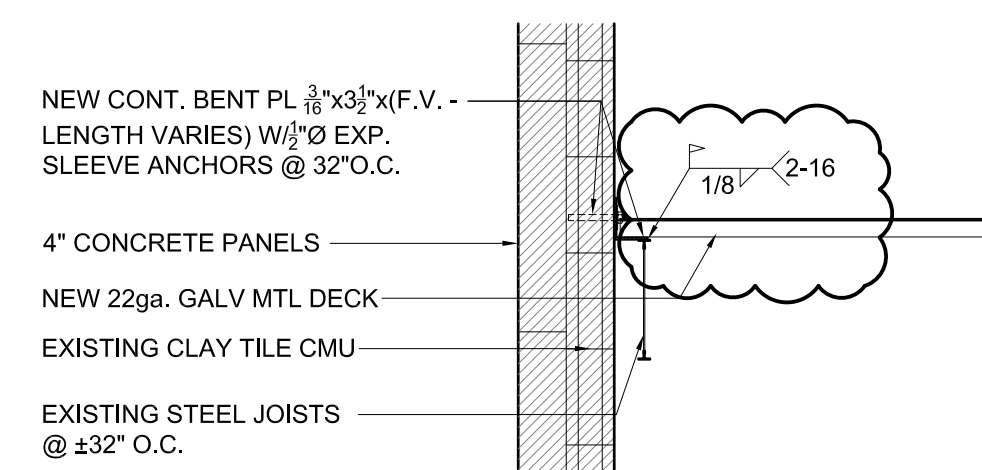
BLACK & WILLIAMS NEIGHBORHOOD CENTER
GYMNASIUM BUILDNG IMPROVEMENTS
 498 GEORGETOWN ST. - LEXINGTON, KENTUCKY

johnson • early • architects
 131 prosperous place, suite 19b • lexington, kentucky 40509
 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyjb@jeaarchitects.net

GENERAL NOTES

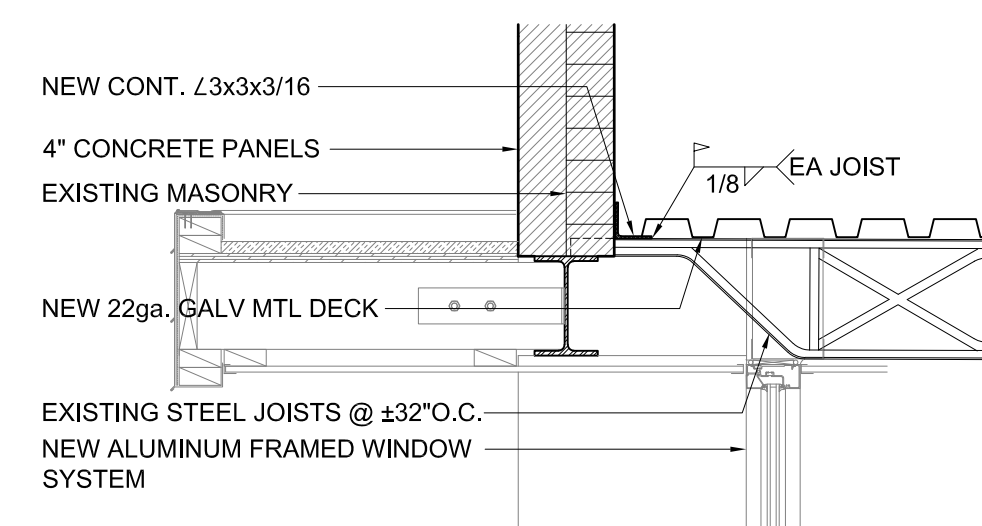
DATE	DRAWN BY	CHECKED	REVISIONS
DECEMBER 8, 2023	DK	DK	

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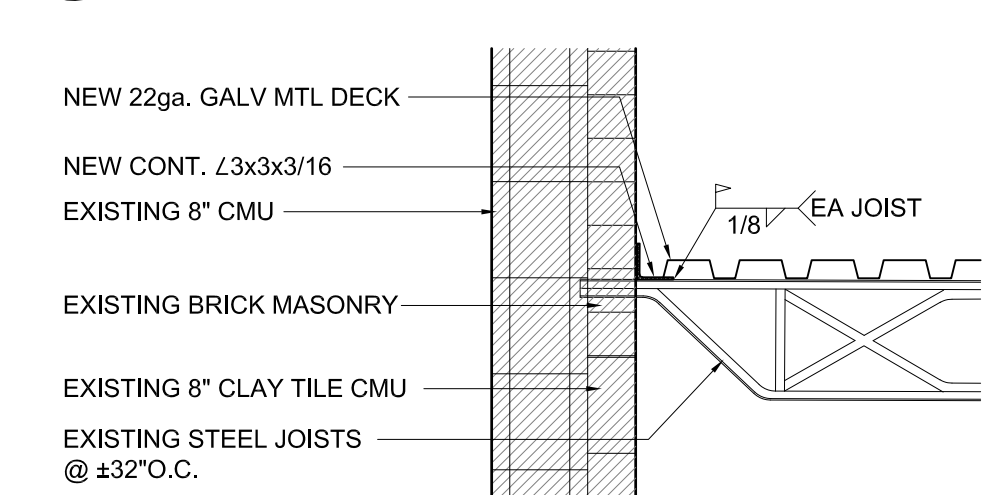
A EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



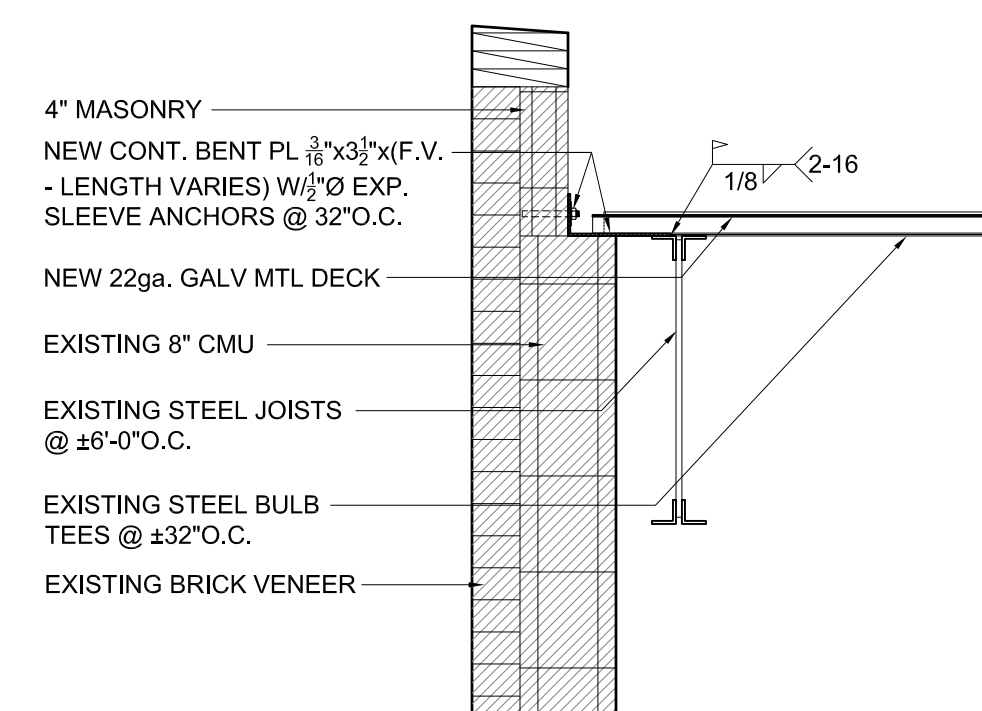
B EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



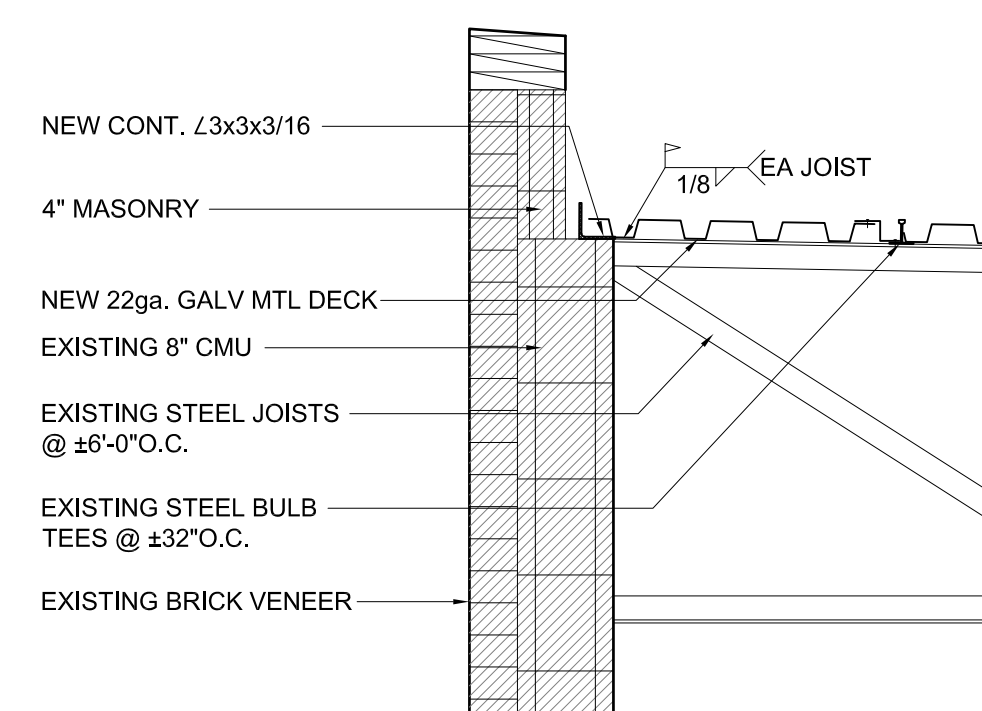
C EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



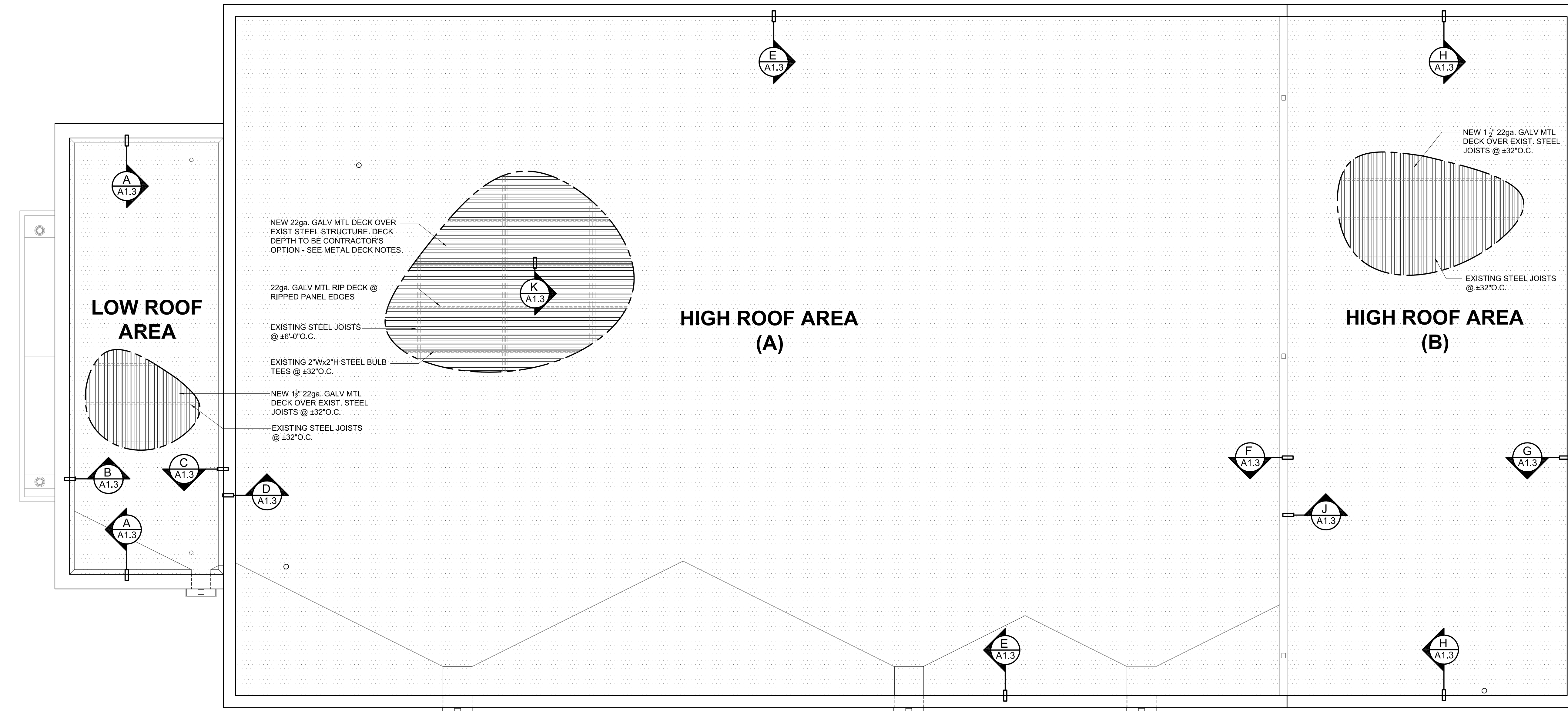
D EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



E EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"

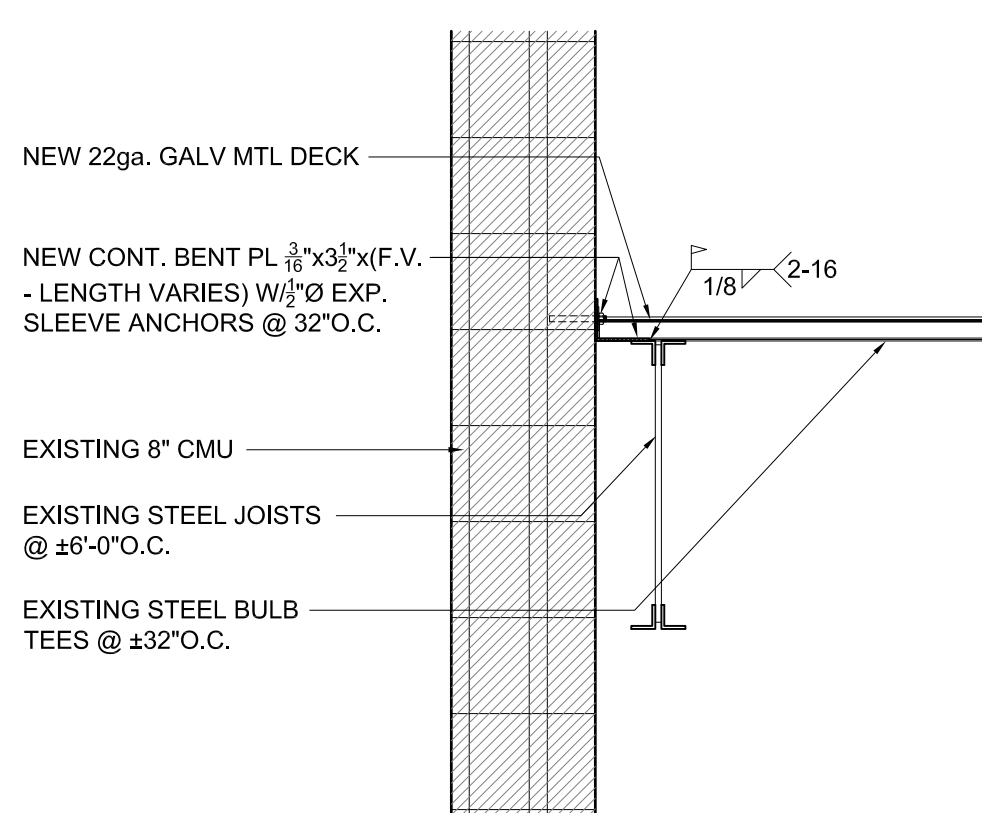


A ROOF PLAN - NEW WORK

A1.2 SCALE: 1/4" = 1'-0"

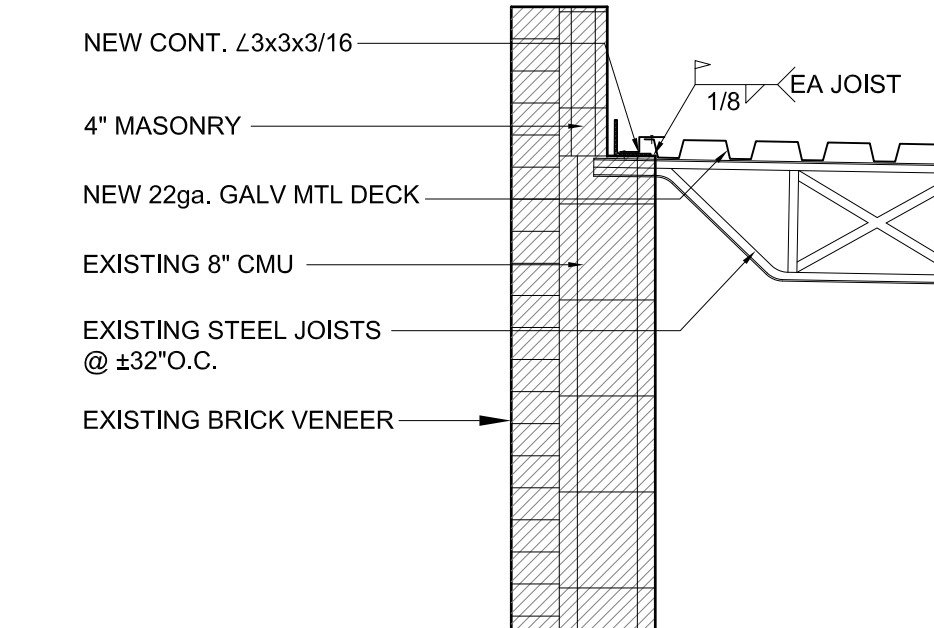
METAL DECK NOTES:

- FASTEN ALL DECK EDGE TO NEW EDGE SUPPORT ANGLES @ 36"O.C.
- METAL DECK TYPE AT HIGH ROOF AREA 'A' - AT CONTRACTOR'S OPTION METAL DECK MAY BE EITHER:
 - A. 1 1/2" WIDE RIB (FLUTES @ 6"O.C.) PLACED PARALLEL TO AND RIPPED AT EACH BULB TEE. ADD DECK FILLER @ RIPPED EDGE OF DECK, EACH BULB TEE AS REQ'D. FASTEN PER SPECIFICATIONS.
 - B. 3" DEEP RIB (FLUTES @ 8"O.C.) PLACED PARALLEL TO AND OVER BULB TEES. RIP DECK EDGE & ADD DECK FILLER ONLY @ BULB TEE CONFLICTS. FASTEN PER SPECIFICATIONS.



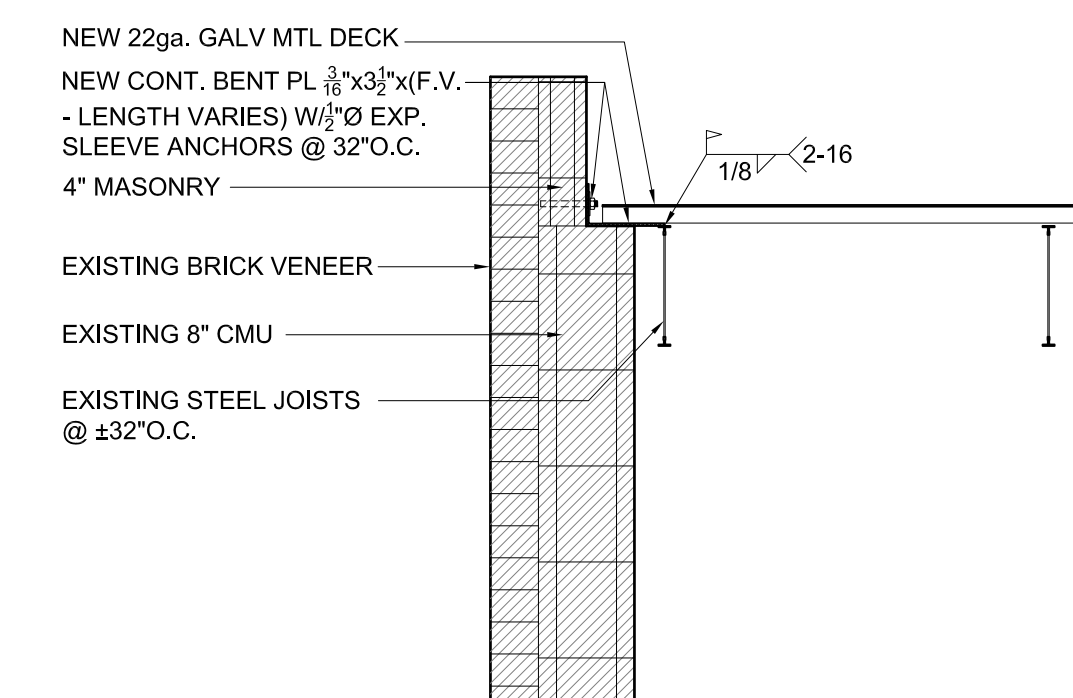
F EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



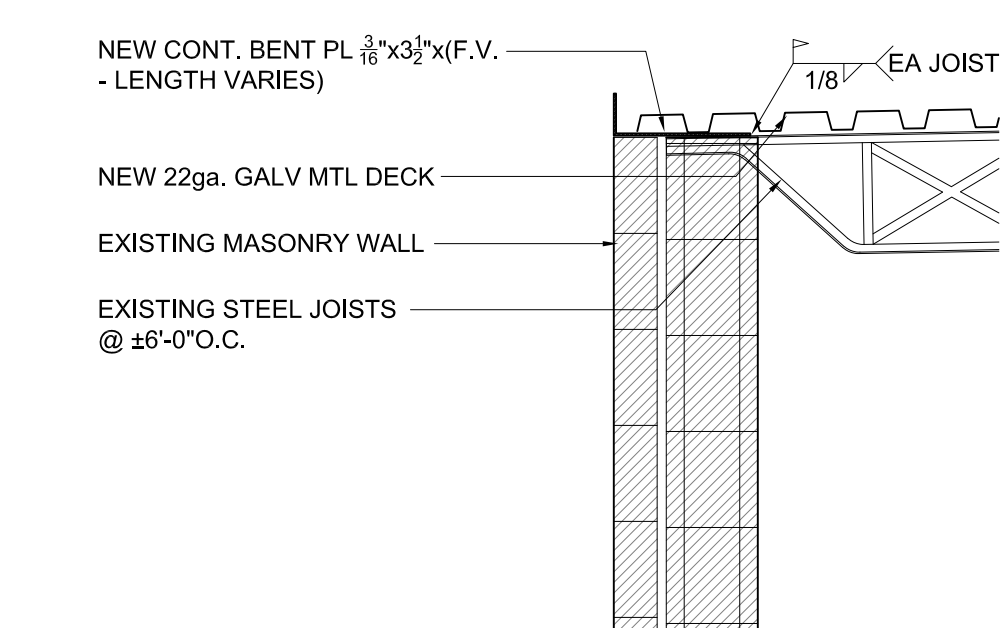
G EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



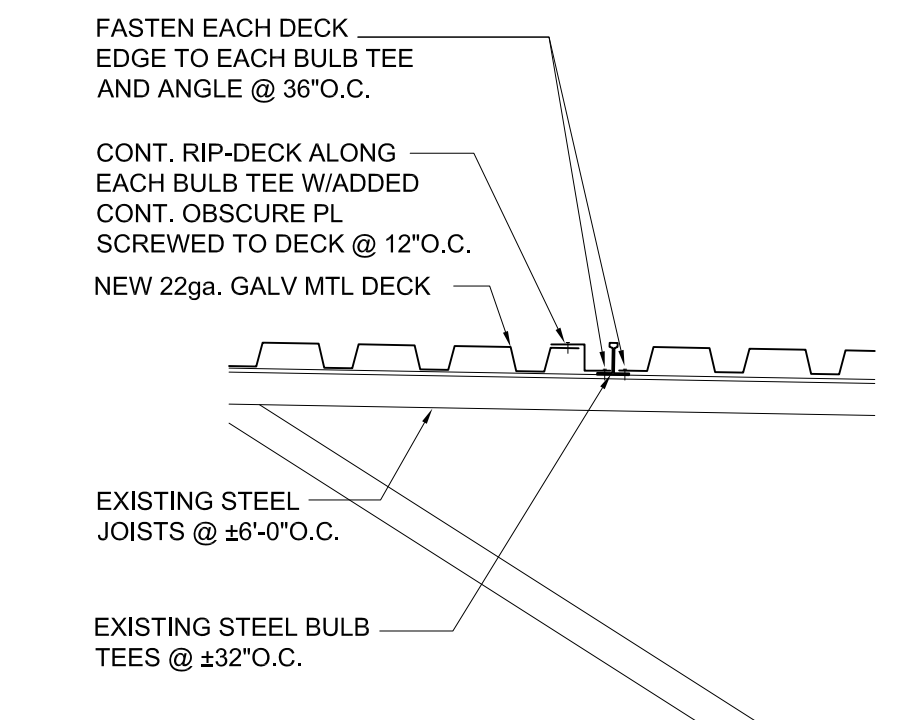
H EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



J EDGE DETAIL

S1.1 SCALE: 3/4" = 1'-0"



K RIPPED DECK - EDGE DETAIL

S1.1 SCALE: 1" = 1'-0"

IMPORTANT NOTE:

UNLESS OTHER ARRANGEMENTS ARE MADE PRIOR TO BID, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND DIMENSIONS, INCLUDING EXISTING STRUCTURAL LAYOUTS AND ELEVATIONS PRIOR TO SUBMITTING SHOP DRAWINGS. ACTUAL DIMENSIONS/ELEVATIONS SHALL BE MARKED ON SHOP DRAWINGS PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER. SUBCONTRACTORS SHALL COORDINATE WITH FIELD VERIFIED CONDITIONS RELATIVE TO THEIR WORK.

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 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyjb@earthchitects.net

ROOF DECK DETAILS

DATE: DECEMBER 6, 2023
 DRAWN BY: DK
 CHECKED BY: DK
 REVISIONS:

jea
 SHEET NO. S1.1



NEW PREFINISHED METAL COPING
W/CONT. CLEAT @ FRONT, SLOPE TO
REAR. PROVIDE 6" EXPOSURE
(FRONT FACE)

NEW TRD 2x12 WD BLOCKING ON
TOP OF EXISTING MASONRY
PARAPET WALL.

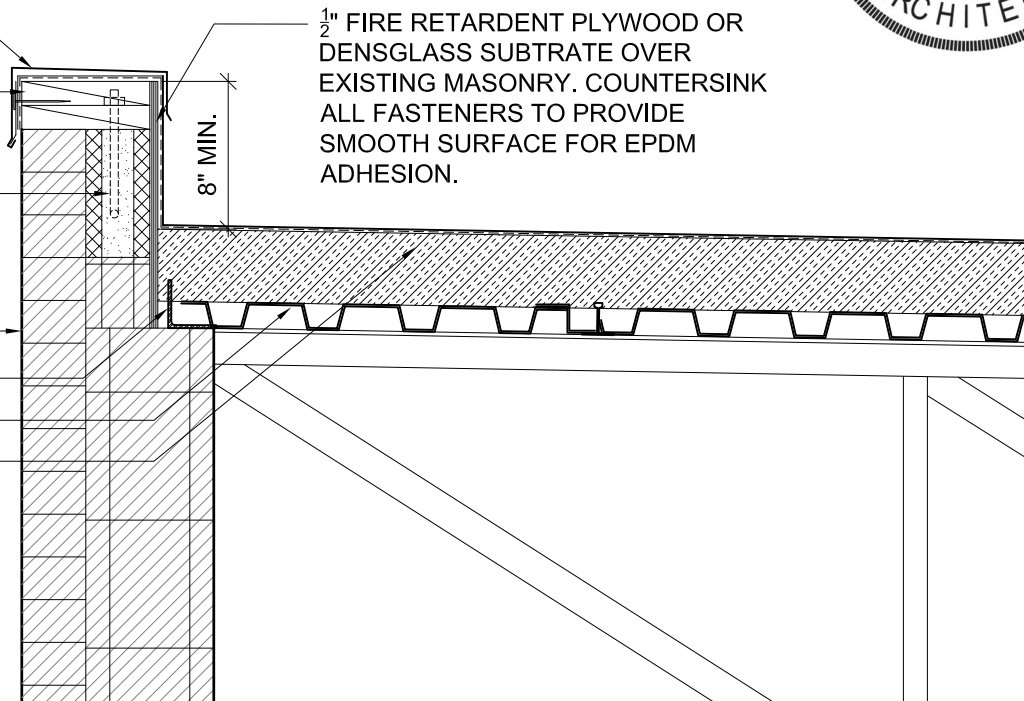
NEW 8"Lx $\frac{1}{2}$ " \varnothing GALV. ANCHOR BOLTS
@ 32"O.C., GROUT EXIST. CMU CELLS
SOLID @ NEW ANCHOR BOLT
LOCATIONS

EXIST. MULTI-WYTHE MASONRY WALL

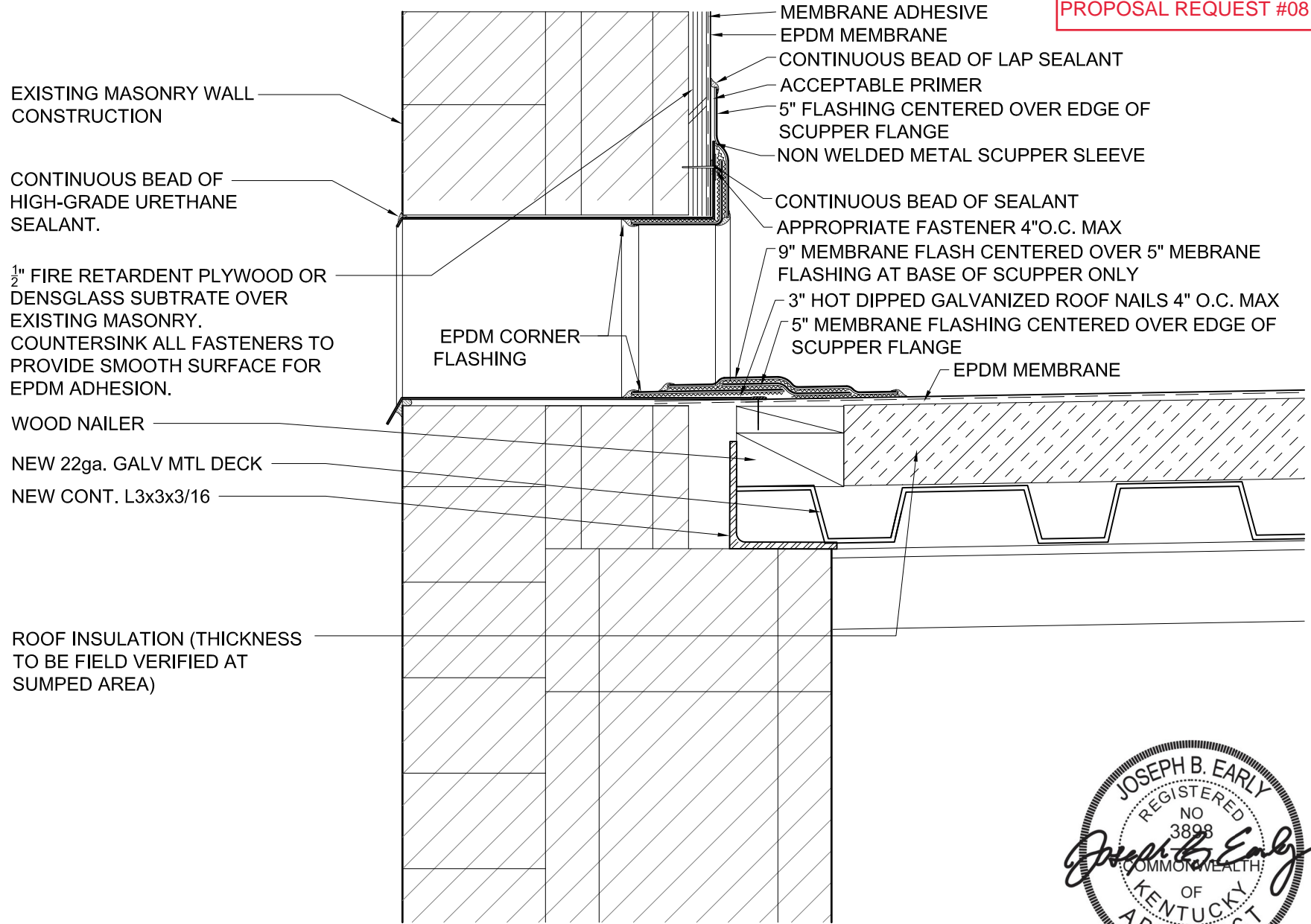
NEW CONT. \angle 3x3x3/16

NEW 22ga. GALV MTL DECK

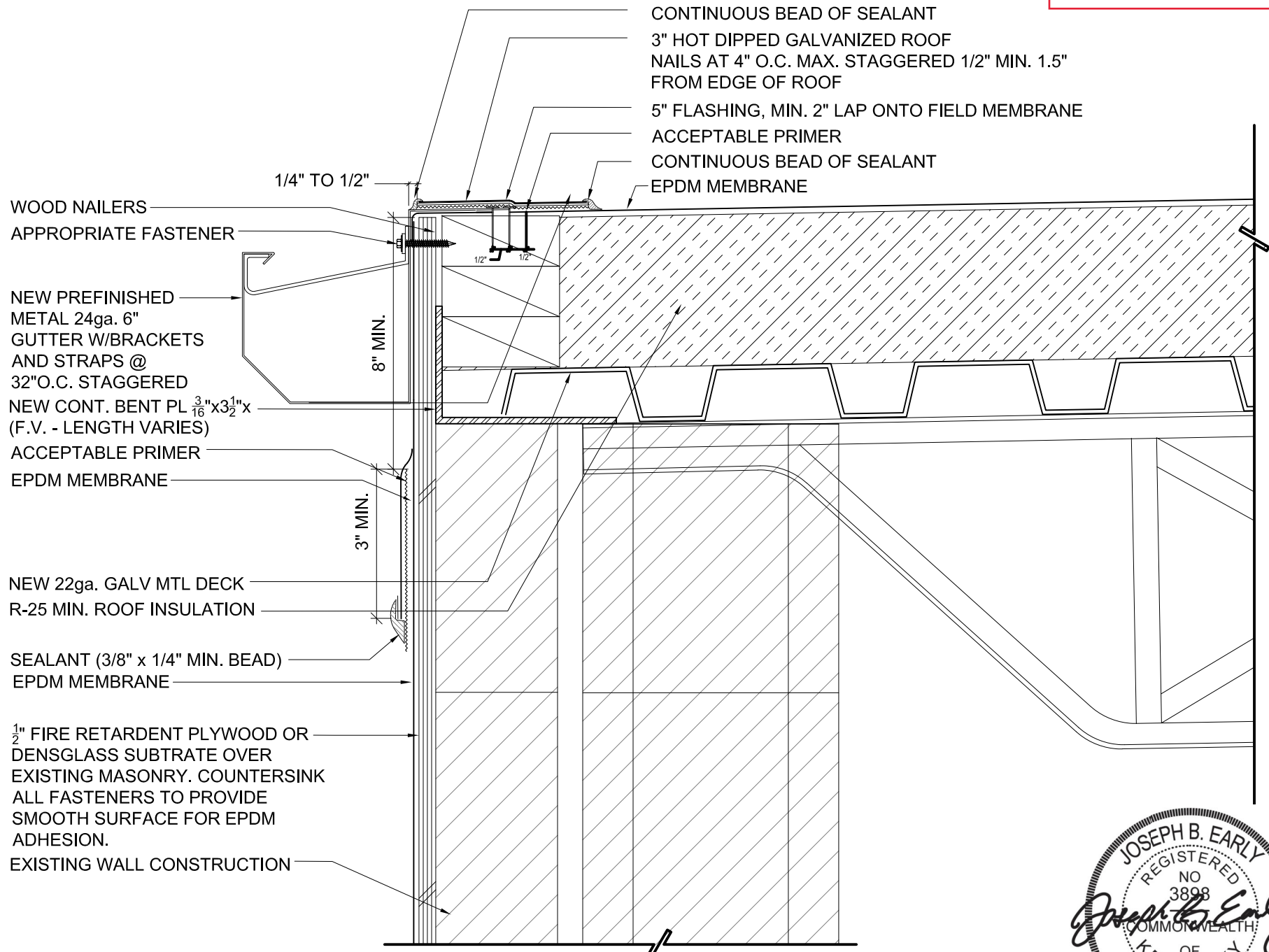
NEW 60mil NON-REINFORCED MECHANICALLY
FASTENED EPDM ROOF MEMBRANE OVER R-25
MIN. POLYISO ROOF INSULATION



A PARAPET DETAIL
A1.3 SCALE: 1" = 1'-0"



C THRU-WALL SCUPPER DETAIL
 A1.3 SCALE: 3" = 1'-0"



E ROOF EDGE (GUTTER) DETAIL
 A1.3 SCALE: 3" = 1'-0"





GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

PROPOSAL REQUEST #08 - PRICING

2025 Leestown Road, Suite B
Lexington, KY 40511
Phone (859) 254-0011

tharris@omnicommercialky.com

DATE **January 19, 2023**
LFUC-Black and Williams Neighborhood Ctr

CUSTOMER LFUC-Black and Williams Neighborhood Ctr
498 Georgetown St Lexington KY 40509
Att: Daniel Thornberry

DESCRIPTION	TOTAL
CO-006-PCO 008 Roof Deck Demo	
Added 113 additional days to schedule for for PCO oo8 Schedule attached New final completion date PM for 113 Days	\$13,156.60
Site Manager for 113 Days	\$39,469.80
Fence Rental	\$4,667.50
Semper FI Gyp Deck Demo and Steel Deck Replacement per PCO-008 Brandon Place confirm	\$102,000.00
Confirmed Bond Fee ????	
LFUCG Requested Deducts	
Deductive Credit for Difference in Deck Replacment Pricing	(\$5,000.00)
Add Alternate #1 Deduct moving forward with 20 year roof System	(\$30,588.00)
Credit to LFUCG 190 SF of Gyp Deck Repairs	(\$7,222.00)
Excludes any unknown cmu cavity filling or unknown conditions if required to supoport steel angle.	
Proposal good for 30 days	
Change Order Amount	\$116,483.90
GC Mark-Up	\$ 17,472.59
Bond Fee	\$ 4,018.69
TOTAL AMOUNT OF THIS CHANGE ORDER	\$ 137,975.18
Original Contract Amount	\$ 1,319,588.00
Contract Amount with Previous Change Orders #1	\$ 1,340,458.00
Total Contract Amount with Change Orders	\$ 1,478,433.18

Travis Harris

From: Audrey Tyree
Sent: Friday, January 19, 2024 3:42 PM
To: Brandon Tyree; Travis Harris; Jeffrey Weneck
Subject: Semper Fi pricing breakdown

Demolition of original roof decking labor \$25,000

Installation of new steel roof decking.

Type A to include material costs* \$32,800

Labor cost \$15,200

(\$25,000 for metal after taxes, \$5,000 for all fasteners, \$2,800 in metal beams, flux, welding materials)

Installation of structural angle iron to include 5/8 in angle iron \$5,000

Material disposal \$4,500

Rental Equipment (lifts and welding generators) \$13,000

General conditions, Cleaning and interior protection \$6,500



Audrey Tyree

Office Administrator | OMNI Commercial

M 859.979.1565 | **P** 859.254.0011

E audrey@omnicommercialky.com

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omnicommercialky.com



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION