Johnson - Early Architects

131 Prosperous Place, Suite 19b Lexington, Kentucky 40509 Phone: 859-259-1515 Fax: 859-231-5060

Email: thornberrydg@jearchitects.net

Proposal Request

PR#: 001

Project: Black & Williams Community Center - Gymnasium Improvements

Date: August 01, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to be added to the original project scope. Please provide a labor/material breakdown for each item for review.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

PR #1A: Roofing Repairs/Patching: identify (size) the existing roofing areas over the former restrooms that need to be replaced where the gypsum roof deck has deteriorated and failed. Provide the same new metal decking patching that is being done at the other main areas in the gym identified on the construction documents – we do not need any new gypsum panels installed at the underside of these locations since they are above the finished lay-in ceiling systems and won't be seen. Remove and discard the existing loese/falling gypsum decking. See attached for JEA's survey of the roof damage areas.

PR#1B: Add Additional Chain Link Fencing: per the attached drawing, provide 4'H black vinyl coated chain link fencing (no mesh fabric) at the side yard 3' set back from the edge of the gym building and 8" off the existing neighbor's house. Chain link fencing to match the same black coated vinyl fencing being used at the new outdoor air unit enclosure. Provide concrete foundations at the posts typical.

PR#1C: Remove and Replace Entry Concrete Sidewalk: per the attached drawings, remove and replace the 4"-5" deep concrete walk entry down to the existing Georgetown Street sidewalk.



PROPOSAL REQUEST #1 - PRICING

2025 Leestown Road, S Lexington, KY 40511		DATE Black and Willi	December 22, 2023 ams Neighborhood Ctr
Phone (859) 254-0011			
tharris@omnicor	nmercialky.com		
CUSTOMER	LFUC-Black and Williams Neighborhood Ctr		
	498 Georgetown St Ledxington KY 40509		
	Att: Daniel Thornberry		

	DESCRIPTION	TOTAL
CO-5 PCO-1C Front Sidewalk Replacment R	Revised Pricing	
Cass Concrete form, place and finish only.		\$7,454.00
Burns Remove Remaining Sidewalk from but	ilding to existing sidewalk only at no cost	\$0.00
Caulk Add		\$250.00
	Change Order Amount	\$7,704.00
	GC Mark-Up	\$ 1,155.60
	Bond Fee	\$ 231.12
	TOTAL AMOUNT OF THIS CHANGE ORDER	\$ 9,090.72
	TO THE STATE OF TH	2,020.12
	Original Contract Amount	\$ 1,319,588.00
	Contract Amount with Previous Change Orders #1 -#4	\$ 1,331,368.21
	Total Contract Amount with Change Orders	\$ 1,340,458.93

Travis Harris 12/22/2023



10/23/2023 OMNI ATTN: Travis

Ref: Black & Williams Gym Renovations - Sidewalk Change Order

Thank you for considering Cass Concrete for the above referenced project. Our scope of work, exclusions and clarifications are listed below. The following proposal is in reference to install and supply materials for SOG only based on drawings dated 08/01/2023, and we acknowledge 0 addendums.

Scope of Work: Need Caulking Number Budget \$250.

Change Order

- 1. Remove existing 4-5" concrete entry walk from existing doors to existing sidewalk.
- 2. Prep area for new concrete sidewalk.
- 3. Form, place, and finish new sidewalk per details C, D, E/C1.1
- 4. Furnish and install wire mesh, and expansion joint.

Exclusions:

- All Caulking.
- Removing/Hammering of Rock.
- Hauling off spoils and concrete washout.
- Over Excavation of Unsuitable Soils.
- Staking of engineered corners.
- Caulking/Sealant of all joints.
- Lane closures that may be associated with project.
- All masonry work, and rebar.

Clarifications:

• We will make every attempt to hold this price for an extended period of time but reserve the right to renegotiate this proposal if a letter of commitment is not received within 15 days.

See email from Summer 12/19/2023 Demo: \$2,446.00

Repour

Material: \$2,090.00 Labor: \$5,364.00

Bid Total: \$9,900.00

\$7,454.00

Jonathon Nelson Project Manager Cell: (231) 434-9558

Email: Jonathon.Nelson@cassconcrete.com

Travis Harris

From: Summer Wright <summer.wright@cassconcrete.com>

Sent: Tuesday, December 19, 2023 9:44 AM

To: Travis Harris

Cc:jonathon.nelson@cassconcrete.com; Jacob GobleSubject:Re: LFUCG-BW PR-1 item C Front Sidewalk Pricing

That is correct.

Thanks-

Summer Wright Cass Concrete 859.336.4623

summer.wright@cassconcrete.com

www.CassConcrete.com

1129 Lebanon Rd, Danville, KY 40422



From: Travis Harris <tharris@omnicommercialky.com>

Sent: Monday, December 18, 2023 1:48 PM

To: Summer Wright <summer.wright@cassconcrete.com>

Cc: jonathon.nelson@cassconcrete.com <jonathon.nelson@cassconcrete.com>; Jacob Goble

<jgoble@omnicommercialky.com>

Subject: RE: LFUCG-BW PR-1 item C Front Sidewalk Pricing

Summer,

131 Prosperous Place, Suite 19b Lexington, Kentucky 40509 Phone: 859-259-1515

Fax: 859-231-5060

Email: thornberrydg@jearchitects.net

Johnson - Early Architects

Proposal Request

PR#: 004

Project: Black & Williams Community Center - Gymnasium Improvements

Date: October 2, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to be added to the original project scope. Please provide a labor/material breakdown for each item for review, if applicable.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

PR #4: Mechanical Pad and Fence Enclosure Dimensions

Due to the requirements of the GMU being provided in lieu of the original specified unit being unavailable, the overall dimensions and layout of the equipment pad and fencing will need to be adjusted (**see RFI#16**) as below: (see RFI#16):

- See updated detail G/C2.1
- Add approximately 5'-4" linear feet of fencing.
- Add approximately 10 square feet to the equipment pad.
- Field verify all quantities.



RFI Request

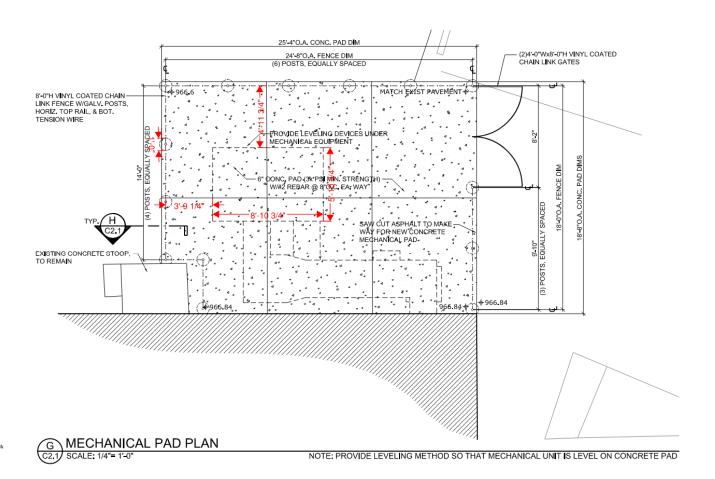
Request # /Subject	RFI-016-Fence and Pad Coordination	Equipment			
Project#	2023017				
To:					
Date:					
Project Name:	B&W Gym Reno				
Project Location:	498 Georgetown F	Road			
Reason for	Request:	Forecast Effect:		Action Requested:	
☐ Insufficie	ent Information	X Increase Cost		☐ Clarification	
X Engineer	ring Conflict	□ Decrease Cos	st	X Direction	
□ Alternate	e Proposal	□ No Cost Chan	nge	X Approval	
		X Increase Time			
		□ Decrease Tim	ie		
		☐ No Time Impa	act		
	Drawing No.	□ No Time Impa	act		
Reference:	Drawing No. C2.1& M6.0	□ No Time Impa See Detail No. below	act Specification		

QUESTION

Per review Sheet C2.1 detail G/C2.1 references detail H2.1 and shows the slab has a turn down at -2' from BOS at the perimeter of the pad. Also, Sheet C2.1 show the fence details with the post cast deeper and wider than detail H2.1 turn down footings, top of post concrete is flush with the slab, and that the outside radius of the post concrete is outside of the edge of the slab. Lastly M6.0 shows a different mechanical pad altogether. Per previous correspondence the current placement of the GMU will not have proper clearances as well per detail G-C2.1 per the approved GMU unit submittal. Please confirm how design wants to proceed.



RFI Request



Proposed Solution:

Design Direction:

□ Proceed with Recommendation

□ Proceed with the Following Instructions:

PAD SIZE AS SHOWN ON THE DRAWINGS SHOULD BE SUFFICIENT FOR THE NEW UNIT/CLEARANCES IF THE UNIT PLACEMENT IS ADJSUTED. THIS NEEDS TO BE COORDINATED WITH THE INLINE EXHAUST IN ORDER TO CONFIRM. WE DO NOT HAVE INFORMATION ON THE EXHAUST TO EVALUATE.



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

2025 Leestown Road, Suite B Lexington, KY 40511 (859) 254-0011

SUBMITTAL REVIEW

202023017 LFUCG-Black And Williams University Of Kentucky 550 South Limestone St Lexington, KY

Spec. Section: 237413 Submittal No: 004 Revision No: 004

Submittal Date: 9/26/2023

Submittal Title: 237413-004 GMU Pad Coordination as Requested by Design

Design must confirm approval.

OMNI Commercial, LLC Contractor Submittal Review: Submittal #:237413-004 Date: 9/26/2023

This review is only for general conformance with the design concept of the project and general compliance with the information given in the Contract Documents. Corrections or comments made on the submittal during this review do not relieve the Subcontractor from compliance with the requirements of the plans, specifications and any applicable addendum. Approval of a specific item shall not include approval of an assembly of which the item is a component. Subcontractor responsible for dimensions to be confirmed and coordinated at the jobsite; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work of all trades; and for performing all Work in a safe and satisfactory manner. The Submittal is as follows:

X Reviewed Furnish as Corrected Revise and Resubm Rejected	
By:Travis Harris	Date: 9/26/23

ARCHITECT: JEA

Architect Submittal Rev	/iew: JEA
Submittal #:	Date:
project and general complian Documents. Corrections or or review do not relieve the Sul requirements of the plans, s Approval of a specific item s which the item is a compone to be confirmed and coordin solely to the fabrication proc sequences and procedures of	all conformance with the design concept of the new with the information given in the Contract comments made on the submittal during this occurractor from compliance with the occifications and any applicable addendum. The new provides a seembly of an assembly of an assembly of the subcontractor responsible for dimensions at the jobsite; information that pertains esses or to the means, methods, techniques, of construction; coordination of the Work of all I Work in a safe and satisfactory manner.
Reviewed Furnish as Correc	ted
Revise and Result	
Rejected	

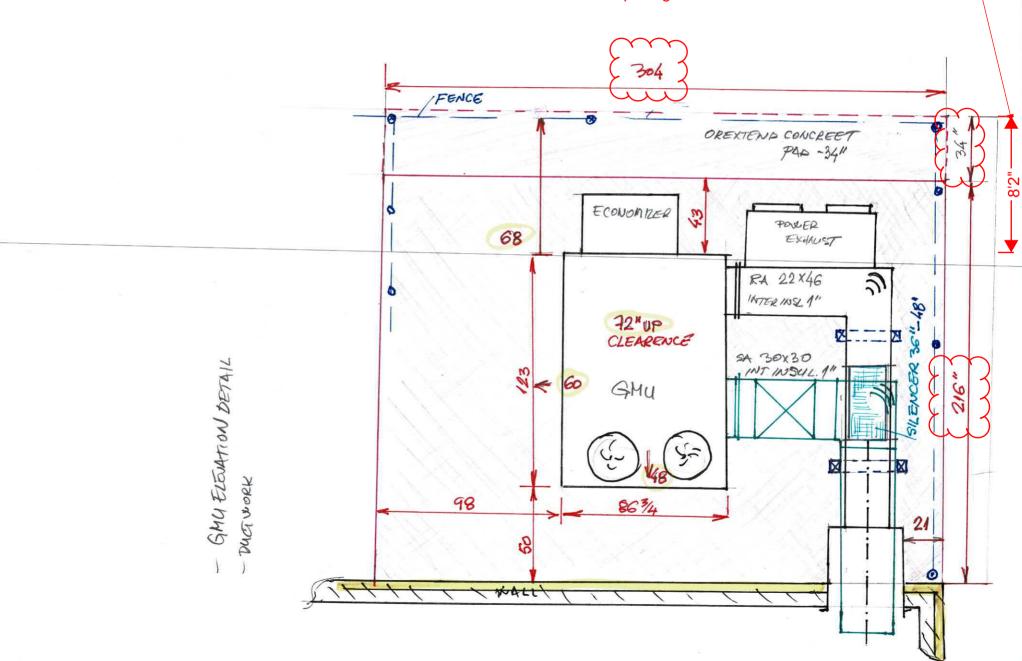
Date:

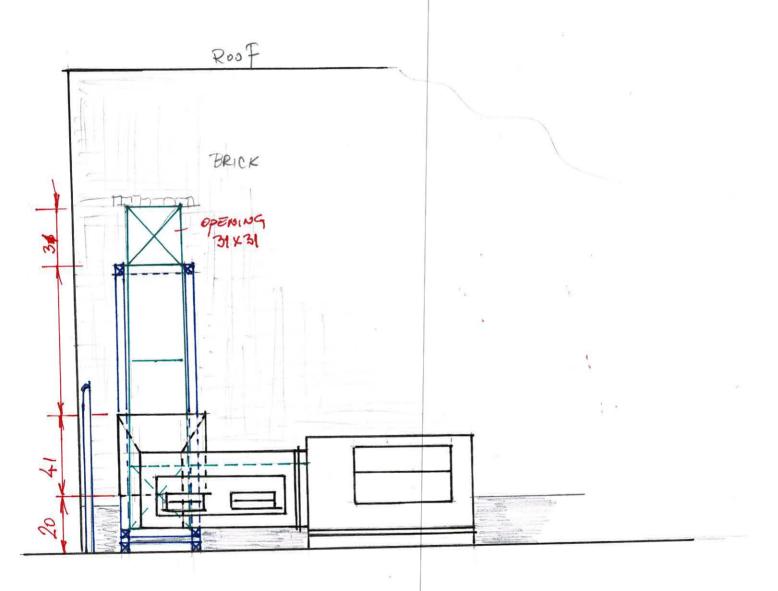
Gate opening and location as shown in drawings is fine per Mr. HVAC.
 Clouded Red dimensions as shown must be clear space

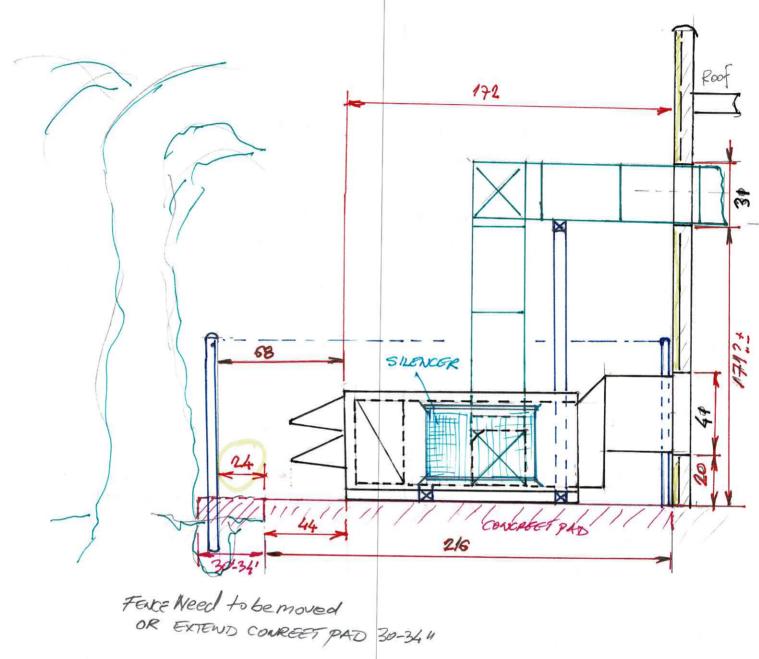
to the fences.

3. Where fence is moving out 34" it would be best to have

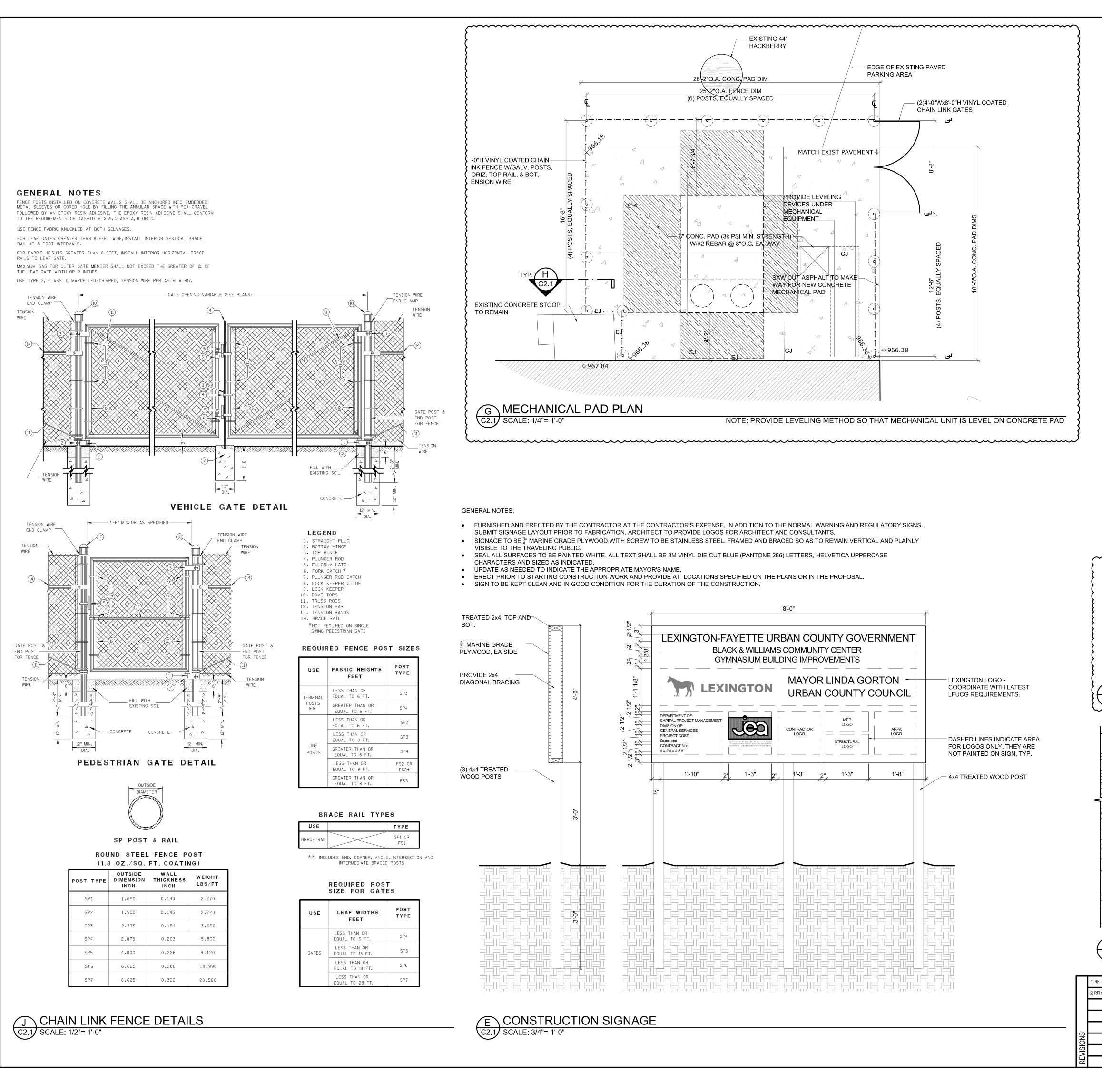
concrete paving.

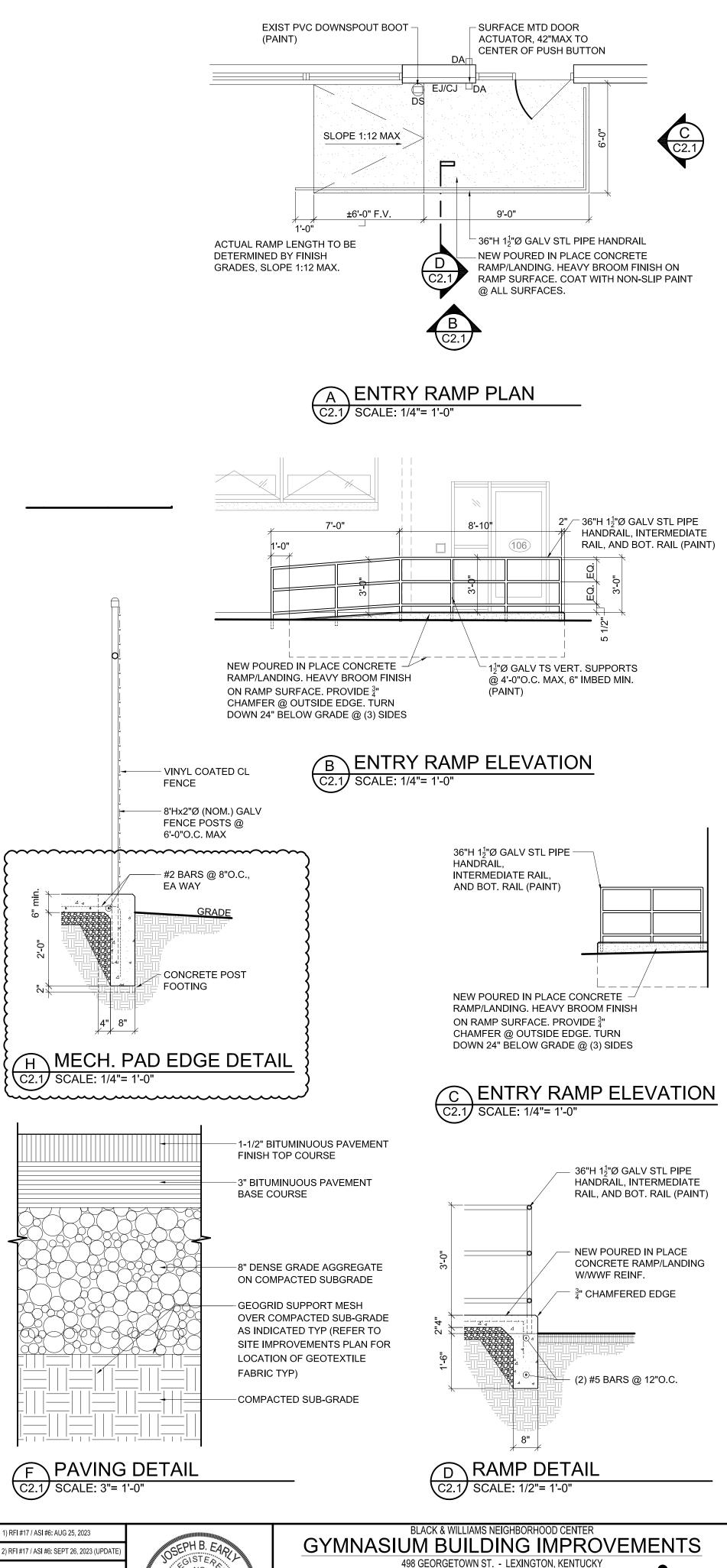






SMU-ELEVATION





johnson • early • architects 131 prosperous place, suite 19b • lexington, kentucky 40509 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyjb@jearchitects.net

SITE IMPROVEMENTS DETAILS



PROPOSAL REQUEST #04 - PRICING

2025 Leestown Road, Suite B
Lexington, KY 40511

Phone (859) 254-0011

CUSTOMER

LFUC-Black and Williams Neighborhood Ctr
498 Georgetown St Ledxington KY 40509

Att: Daniel Thornberry

	DESCRIPTION	TOTAL
CO #2 PR-4 Enlarge GMU Pad and RFI-16		
Elliot Electric		\$0.00
Cass Concrete		\$0
Eads		\$600.00
the next 3 weeks which the pad needs to cure for 30 da until the day after Omni receives formal approval. LF	ly start this activity for two weeks at this point and the unit may show up in ays before we load it. The delay will continue to grow each day from this point UCG has rejected the request for time. Omni will proceed Under Protest on time extension be granted and formalized as soon as possible.	
Notice that due to how close the pad and fence point impacted and starts to deteiorate due to these actions.	ost are now to the tree we take no resposibility if the trees condtion is vies.	
	Change Order Amount	\$600.00
	GC Mark-Up	\$ 90.00
	Bond Fee	\$ 18.00
	TOTAL AMOUNT OF THIS CHANGE ORDER	\$ 708.00
	Original Contract Amount	\$ 1,319,588.00
	Contract Amount with Previous Change Orders #1	\$ 1,325,201.62
	Total Contract Amount with Change Orders	\$ 1,325,909.62

Travis Harris

11/9/2023

ESTIMATE

PROPOSAL REQUEST #04 - PRICING (BACKUP DOCUMENTATION)

Date

Prepared For

10/12/2023

Omni Commercial

Eads Fence Co, Inc, Estimate # 1830

260 Rainbow Ridge Richmond, Ky 40475 Phone: (859) 624-2525

1 Horie: (653) 624-2323	
Email: gbeads1234@gmail.com	

Description	Total
PR-4	\$600.00
Adding 6' fence	

Total	\$600.00
Subtotal	\$600.00



PROPOSAL REQUEST #4A - PRICING

2025 Leestown Road, S Lexington, KY 40511	Suite B	DATE LFUC-Black and Wil	November 14, 2023 lliams Neighborhood Ctr
Phone (859) 254-0011			
tharris@omnico	mmercialky.com		
CUSTOMER	LFUC-Black and Williams Neighborhood Ctr		
	498 Georgetown St Ledxington KY 40509		
	Att: Daniel Thornberry		

	DESCRIPTION		TOTAL
CO #3-GMU Pad Under Cut and DGA Back F	ill		
Omni Commercial Items			\$0.00
Saturaday 11/11/11/2023 Skid Steet Rate at \$12	0 PMH at 1.5 hours		\$180.00
Monday 11/13/2023 Skid Steer Rate at \$120 PM	IH at 10 hours		\$1,200.00
Monday 11/13/2023 1 Personnel Vibratory plate	e \$75 at 4 hours		\$300.00
Tuesday Export of Unsitable Soil Spoils at \$120	PMH at 8 hours		\$960.00
Tuesday 1 Personnel Vibratory Plate \$75 hour a	at 1 hour		\$75.00
Lexington Quarry DGA At 24.19 tons			\$512
Vulcan Materials at 9.11 tons			\$235.48
Delayed 2 days requested - As previoulsy inforture the equipment pad declines due to these activities.	med in prior CO Omni is not responsible if and when the Tree adjacnet to tes		
			\$3,462.92
	tes	\$	\$3,462.92 519.44
	Change Order Amount	\$ \$	
	Change Order Amount GC Mark-Up		519.44
	Change Order Amount GC Mark-Up Bond Fee	\$	519.44 103.89
	Change Order Amount GC Mark-Up Bond Fee TOTAL AMOUNT OF THIS CHANGE ORDER	\$	519.44 103.89 4,086.25

Travis Harris 11/14/2023

Page

PROPOSAL REQUEST #4A PRICING (BACKUP DOCUMENTATION)

С	u	stomer	Inquiry

Ticket number	Name	Product	Net tons	Hauler	Truck	Price	Material charge	Haul rate/ton	Fuel surcharge	Haul charge	Hauling tax	Material tax	Total charge	Date out	Phase Description
01378927	498 GEORGETOWN STREET	125	24.19	3325	BE32	14.95	361.64	4.75	6.89	121.79	7.31	21.70	512.44	11/13/23	2023017
Total for I	Date out 11/13/23		24.19				361.64		6.89	121.79	7.31	21.70	512.44	(1)	
Total for I	Phase 1		24.19			-	361.64		6.89	121.79	7.31	21.70	512.44	(1)	
Total for J	Tob 000017		24.19			-	361.64		6.89	121.79	7.31	21.70	512.44	(1)	
Total for 0	Customer 74805		24.19			-	361.64		6.89	121.79	7.31	21.70	512.44	(1)	
Total			24.19			-	361.64		6.89	121.79	7.31	21.70	512.44	(1)	

PROPOSAL REQUEST #4A PRICING po not handle until the safety information (BACKUP DOCUMENTATION) DANGER

Materials Company Vulcan Construction Materials, LLC 1280 MANCHESTER STREET LEXINGTON, KY 40504 859-254-2541



PELIGRO

no not handle until the safety information has been read and understood. Follow applicable local, sale and federal health and safety information and federal health and please refer to the SDS. An electronic version of the SDS is a radiating this product, health sale safety standards and please refer to the SDS. An electronic version of the SDS is a radiable at http://www.vulcanmaterials.com/construction-materials/safety-data-sheets or by calling 1-866-401-5424

No usar hasta que la información de seguridad presentada en la Ficha de Datos de No Usar hasta que la información de seguridad presentada en la Ficha de Datos de Seguridad (SDS) haya sido completemente leida y entendida. Siga las reglas locales, seguridad y federales de salud y seguridad. Para mayor información sobre la salud y seguridad de este producto, por favor referirse al documento de SDS. Una versión de SDS electronico. de SDS electronica esta disponsible en

http://www.vulcanmaterials.com/construction-materials/safety.data-sheets o llamando al 1-866-401-5424

X DRIVE			customer/consignee	8598942334	
11/13/2023	TIME	3:25PM	PLANT 1243-121 CENTRAL	Ticket	No 8269635

RFID Card Swipes

LIMITED WARRANTY AND WARRANTY DISCLAIMER: Seller warrants for a period of one (1) year from date of delivery only that the material sold hereunder substantially compiles with Seller's specification for said material or the specifications set forth in the Seller's quotation. SELLER HEREBY EXCLUDES ALL WARRANTIES OF MERCHANTABILITY AND FITNESS FOR ANY PURPOSE AND ALL WARRANTIES OF MERCHANTABILITY AND FITNESS FOR ANY PURPOSE AND ALL WARRANTIES OF MERCHANTABILITY AND FITNESS. FOR ANY PURPOSE, AND ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, OF THE MATERIAL SOLD HEREUNDER, OTHER THAN THE EXPRESS WARRANTY STATED ABOVE.

In addition In addition, except to the extent otherwise set forth in the specification described above, Seller makes no warranty whatsoever with respect to specific gravity, absorption, whether the material is income. material is innocuous, non-deleterious, or non-reactive, or whether the material is in conformance with any plans, other specifications, regulations, ordinances, statutes, or other standards applicable to customer's job or to said material as used by customer, SELLER SHALL IN NO EVENT BE RESPONSIBLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGE CAUSED BY NON-COMPLIANCE OF THE MATERIAL WITH SPECIFICATION, OR FOR ANY DEFECTS IN THE MATERIALS SOLD HEREUNDER.

ALL SALES AND DELIVERS MADE SUBJECT TO SELLER'S GENERAL TERMS AND CONDITIONS.

AS EVIDENCED BY SIGNATURE, OR DEPARTURE FROM SELLER'S FACILITY, CARRIER ACKNOWLEDGES THAT CARRIER IS SOLELY RESPONSIBLE FOR THE ACCURACY OF THIS VEHICLE'S TARE WEIGHT, AXLE WEIGHTS AND GROSS WEIGHT. CARRIER SHALL BE RESPONSIBLE FOR NOTIFYING SELLER WHEN ANY TRUCK OR TRAILER HAS BEEN OVERLOADED SO AS TO RENDER IT OUT OF COMPLIANCE WITH ANY/APPLICABLE WEIGHT LIMITS. TO THE MAXIMUM EXTENT ALLOWED BY LAW, CARRIER SHALL INDEMNIFY SELLER FOR ANY LOSS CAUSED BY OVERLOADING.

CASH SAL	: 25324	CK#	customer Pu	IRCHASE ORDE	R:	GOVT CONTRACT:	
ORDER: 559096	351	498 Georgetown				DELIVERED Dispatch: 601968	
DESTINATION 1	l :	498 Georgetown	al-Black & Williams Neigh Street Neighborhood Center, G	CDE	EDIT	ZONE/MILES	
PRODUCT: 1	5391	DGA		CA	RD		国内的
TRUCK LICENSE FREIGHT TYPE	TRUX30 844270 A	KY Triaxle AXLES 4	ES TRUCKING LLC	TONS	CARRIER TRAILER TARE DA'	ID NO TRAILER TE 10/25/2023 TARE EX	PIRE 11/25/2023
GROSS LBS 44,6	(Scale 2) 80	TARE LBS (Scale 0) 26,460 *	NET LBS 18,220	9.11	9.11	1	80,000
GROSS KG 20,20	67	TARE KG 12,002	NET KG 8,264	8.26	MG TODAY	3:07 pm	3:25PM
CASH SALE PER TON	MATER	AL	HAUL	CNDTRKF	SC Cen	tral Truck Fuel Surcharge	
	MATERI	AL 040.21	*Material and Freight are combined	TAX 13.1		THER CHARGES 3.12	235.48
	WATER	219.21				IOB TIME	

We make deliveries inside the curb line at the customer's risk only

131 Prosperous Place, Suite 19b Lexington, Kentucky 40509 Phone: 859-259-1515

Fax: 859-231-5060

Email: thornberrydg@jearchitects.net

Johnson - Early Architects

Proposal Request

PR#: 007

Project: Black & Williams Community Center - Gymnasium Improvements

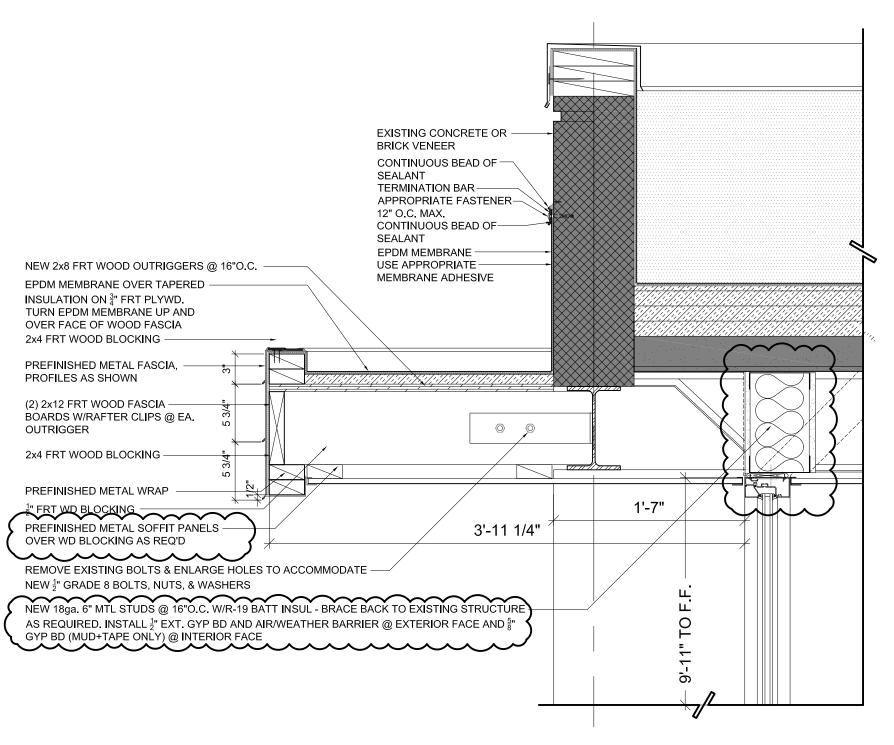
Date: October 24, 2023

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project construction documents. Please provide a labor/material breakdown for each item for review, if applicable.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

PR #7: ALUMINUM STOREFRONT BULKHEAD & JAMB EXTENTIONS

Per the found condition at the entry storefront location new metal stud bulkhead framing, sheathing, and insulation will be required in order to provide an attachment point for the storefront framing. See attached updated detail G/A1.3.



A1.3 SCALE: 3" = 1'-0"



Authorized by: Daniel Thornberry

PROPOSAL REQUEST #07 - PRICING

2025 Leestown Road, St Lexington, KY 40511	iite B	DATE LFUC-Black and Wi	December 22, 2023 lliams Neighborhood Ctr
Phone (859) 254-0011			
tharris@omnicon	<u>nmercialky.com</u>		
CUSTOMER	LFUC-Black and Williams Neighborhood Ctr		
	498 Georgetown St Ledxington KY 40509		
	Att: Daniel Thornberry		

	DESCRIPTION		TOTAL
CO-4-PCO-007-SF Header Add			
Grayhawk SF Header add per attaached in	nvoice		\$1,163.00
	Change Order Amount		\$1,163.00
	GC Mark-Up	\$	174.45
	Bond Fee	\$	34.89
	TOTAL AMOUNT OF THIS CHANGE ORDER	\$	1,372.34
		9	2,0 , 210 1)
	Original Contract Amount	\$	1,319,588.00
	Contract Amount with Previous Change Orders #1 -#3	\$	1,329,995.87
	Total Contract Amount with Change Orders	\$	1,331,368.21

Authorized by: Travis Harris, Project Manager Date

12/22/2023

Travis Harris



P.O. Box 12111 (40580) 2424 Merchant Street Lexington, KY 40511

contained herein.

Author

Colin Wilkerson

Request for Change

RFC Number: 3 Date: 10/27/2023

Date

We hereby propose to make the fo	llowing changes:		
RFC 3 - Wall added above storefront			
To: OMNI GENERAL CONTRACTING PO BOX 34065 LEXINGTON, KY 40588		Project: LFUCG Black & Williams LEXINGTON, KY 40508	
Requested By:	Phone:	E-mail:	
Colin Wilkerson	(859) 721-2320		grayhawk-ky.com
Recipients:	Phone:	E-mail:	
Travis Harris	(859) 254-0011	tharris@omr	nicommercialky.com
Requested Change:			Change to Contract
Labor (6 hours)			\$ 339.00
Material			\$ 565.00
Trucking			\$ 150.00
24' of Fire Treated 2x6 (Labor + Mate	erial)		\$ 109.00
		RFC Total	\$ 1,163.00
Pricing is based upon conditions or documents which may include but are not limited to weath			

may result in additional costs. Unless stated otherwise the price above does not include overtime or costs for shift differential. Acceptance of this RFC by verbal direction, signed authorization, or issuance of a Change Order constitutes the acceptance of this document and all terms and conditions

Authorized Signature

OMNI GENERAL CONTRACTING

Grayhawk, LLC

Johnson - Early Architects

131 Prosperous Place, Suite 19b Lexington, Kentucky 40509 Phone: 859-259-1515 Fax: 859-231-5060

Email: thornberrydg@jearchitects.net

Proposal Request

PR#: 008

Project: Black & Williams Community Center - Gymnasium Improvements

Date: December 8, 2023

This proposal shall *ONLY* be for the change in project scope; the demolition of the existing gypsum deck and installation of new metal deck/angles. The removal of the existing roofing membrane system and installation of the new 20-year warranted 60mil EPDM roof system are already in the contract. The \$30,588.00 Add Alternate #1 value shall be applied as a credit to against this new scope work.

The due date for this PR#8 shall be 12/22/23.

Each proposal shall have a full material and labor breakdown including OH&P of 15% maximum. Omni Construction to engage all (4) currently active roofing subcontractor for participation, including but not limited to Eskola Roofing, Burnett Roofing, Swift Roofing, and Semper-Fi Roofing. Omni Construction to provide proposal breakdown for *each* participating contractor for LFUCG to evaluate and select from all proposals, not a single proposal selected by the general contractor.

This proposal request does not indicate a notice-to-proceed for the work outlined below.

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project scope.

PR #8: GYPSUM ROOF DECK REMOVAL & REPLACEMENT

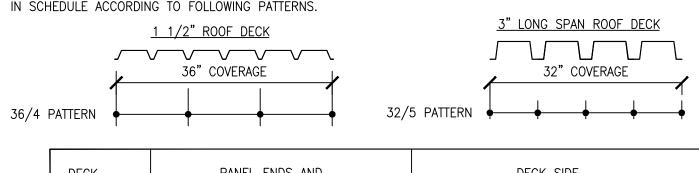
The following proposal request is being issued to formalize additional costs associated with a change to the roof deck repair method & reroof method as outlined in the construction documents.

1.Demolish the existing roof membrane, insulation, reinforced poured gypsum roof deck, & gypsum formboard over the entire roof area (Low, High 'A', High 'B'), and haul offsite. Protect all existing work-in-place during demolition and perform the demolition/deck replacement in a manner to prevent water intrusion during construction. Any damage to work-in-place or the existing structure during deck removal & replacement to be corrected at contractor's expense.

December 8, 2023

- 2. Install new 22 gauge metal deck over the entire roof area; fasten to the existing steel roof structure per drawings & specifications from Brown + Kubican structural engineers (attached).
 - a) 1 ½" metal deck to be utilized at the "Low Roof Area"
 - b) 1 1/2" metal deck to be utilized at the "High Roof Area 'B"
 - c) 1½" or 3" metal deck to be utilized at the "High Roof Area 'A' ". Deck type to be contractor's option.
- 3. Install new steel edge support/attachment angles and bent plates as outlined in the drawings & specifications (attached).
- 4. Install mechanically fastened roof insulation and 60mil EPDM (20 year warranted) roof system as outlined in the construction documents for the base bid amount; the base bid amount for this item remains in effect and no new pricing is required to be submitted as part of this PR.
- 5. Provide a credit to the owner for add alternate #1 (upgrade roof warranty to 30 year) in the amount of \$30,588.00.
- 6. See attached supplemental information for additional details.
- 7. Each participating roofing subcontractor to provide an estimated timeline for the performance of their work, procuring metal deck and roofing materials, and details regarding the roof material manufacturers they will be utilizing. This information to be provided for each proposal for LFUCG and JEA's evaluation.

FASTEN STEEL ROOF DECK AS INDICATED BELOW FOR EACH DECK TYPE AS MARKED ON PLAN. A. FASTEN DECK UNITS AT ENDS AND AT INTERMEDIATE SUPPORTS WITH FASTENERS AS NOTED

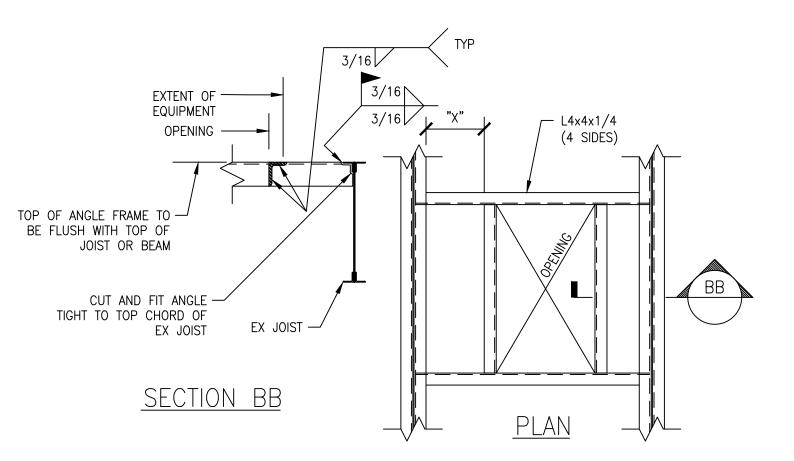


DECK TYPE	PANEL ENDS AND INTERMEDIATE SUPPORTS	DECK SIDE LAPS
1.5WR22	#12 TEK SCREW OR P.A.F. PIN	#10 TEK SCREW @ 36" O.C. MAX
3.0N22	#12 TEK SCREW OR P.A.F. PIN @ 32/5 PATTERN	#10 TEK SCREW @ 36" O.C. MAX

- B. FASTEN DECK SIDE LAPS, INCLUDING DECK TO CLOSURE PLATES, WITH #10 SELF DRILLING SCREWS AS NOTED IN SCHEDULE.
- C. FASTEN DECK PERIMETER SIDE EDGES (PARALLEL TO DECK SPAN), INCLUDING CLOSURE PLATES, TO STEEL SUPPORTS WITH #12 TEK SCREWS OR P.A.F. PIN SPACED AT 36" O.C.

STEEL ROOF DECK FASTENING SCHEDULE

NOT TO SCALE



CONDITION AT EXISTING JOIST CONSTRUCTION

- 1. IF "X" IS 4" OR LESS, ELIMINATE ANGLE PARALLEL TO JOIST OR BEAM.
- 2. PROVIDE ANGLE FRAME FOR ALL OPENINGS GREATER THAN 10" DIAMETER OR SQUARE.
- 3. PROVIDE ANGLES BENEATH THE PERIMETER OF ALL ROOF TOP EQUIPMENT. ROOF DECK PENETRATION MAY OR MAY NOT OCCUR.

4. PROVIDE ANGLE FRAME AT ALL ROOF DRAINS AND EXHAUST FANS REGARDLESS OF ROOF PENETRATION SIZE, FIELD VERIFY LOCATIONS. 5. CONTRACTOR TO VERIFY SIZE AND LOCATION

OF ALL OPENINGS.

TYPICAL ROOF FRAME OPENING DETAIL NOT TO SCALE

GENERAL NOTES

DESIGN LOADS STRUCTURAL RISK CATEGORY CATEGORY II ROOF LIVE LOAD .. 20 PSF MIN ROOF SNOW LOAD (PER ASCE 7-10) GROUND SNOW LOAD. $P_g = 15 PSF$ IMPORTANCE FACTOR. 1.0 SNOW EXPOSURE FACTOR... Ce = 1.0 THERMAL FACTOR Ct = 1.0 (BUILDING). RAIN ON SNOW SURCHARGE .. Pr = 5 PSF FLAT-ROOF SNOW LOAD* (Pf = 0.7CeCtIsPg) Pf = 10.5 PSF (BUILDING) ... MINIMUM-ROOF SNOW LOAD (IsPg) .. Pm = 15 PSF *(INCREASE FOR DRIFTING PER ASCE 7-10, SECTIONS 7.7 & 7.8)

DESIGN STRESSES

CHANNELS, ANGLES, PLATES AND BARS (ASTM A572)	fy =	36,000 PSI
STEEL ROOF DECK (ASTM A653)	fy =	33,000 PSI

GENERAL

- 1. THE REQUIREMENTS OF THESE GENERAL NOTES APPLY UNLESS NOTED OTHERWISE ON PLANS OR IN SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONTRACT DOCUMENTS, ADDENDA, AND SUPPLEMENTARY INFORMATION AND DISTRIBUTING SUCH TO ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO THE PREPARATION AND SUBMITTAL OF SHOP DRAWINGS, FABRICATION, AND INSTALLATION OF ANY
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES

THAT MAY EXIST. 4. DO NOT SCALE DRAWINGS.

- 5. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION AND IS THEREFORE DEPENDENT UPON DIAPHRAGM ACTION OF THE ROOF DECK AND ATTACHMENT TO THE SHEAR WALLS FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BRACING REQUIRED TO BRACE AND LATERALLY SUPPORT THE BUILDING UNTIL THESE ELEMENTS ARE COMPLETE AND CAPABLE OF PROVIDING THIS SUPPORT.
- 6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS TO CONSTRUCT THE STRUCTURE, INCLUDING VERIFICATION OF LOAD CAPACITY OF THE STRUCTURE, NEW OR EXISTING, TO SUPPORT CONSTRUCTION ACTIVITIES, EQUIPMENT ETC. AND FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED ON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED. DAMAGE TO THE STRUCTURE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE CORRECTED BY THE RESPONSIBLE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 7. SHOP DRAWINGS MUST BE CHECKED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMISSION
- 8. ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS ARE IDEALIZED ELEVATIONS BASED ON DECK THICKNESS AND SLOPES SHOWN ON DRAWINGS AND DO NOT ACCOUNT FOR BEAM OR JOIST CAMBER. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE ANY CAMBER OF THEIR WORK WITH OTHER TRADES AND ADJUST ELEVATIONS AS NECESSARY TO ACCOUNT FOR DEAD LOAD DEFLECTION AND THIS
- 9. EXISTING CONSTRUCTION SHOWN IS BASED ON LIMITED FIELD OBSERVATION AND/OR GENERAL CONSTRUCTION PRACTICE AND IS NOT GUARANTEED TO BE TRUE OR EXACT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS RELEVANT TO THEIR WORK PRIOR TO CONSTRUCTION.
- 10. DETAILS LABELED TYPICAL ON THESE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR AND SHALL APPLY REGARDLESS OF WHETHER THEY ARE KEYED ON THE PLANS. CONSTRUCTION NOT SPECIFICALLY INDICATED BY DETAIL OR SECTION SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

STEEL CONSTRUCTION

- 1. STEEL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE AISC SPECIFICATIONS AND CODE OF STANDARD PRACTICE, AND THE AWS STRUCTURAL WELDING CODE.
- 2. WELDING ELECTRODES SHALL BE E70XX EXCEPT WHERE OTHER ELECTRODES ARE REQUIRED FOR COMPATIBILITY WITH MATERIAL BEING WELDED.

SEE SPECIFICATIONS FOR ALL PRIMING REQUIREMENTS.

4. ALL SHOP AND FIELD WELDING SHALL BE DONE BY A CERTIFIED WELDER. 5. MISCELLANEOUS STEEL MEMBERS (ANGLES, TEES, CHANNELS, ETC.) THAT SUPPORT DECK AROUND THE PERIMETER OF A FLOOR OR ROOF AREA SHALL BE CONTINUOUS. EXCEPT AT BUILDING EXPANSION JOINTS. WHERE SPLICES IN THESE MEMBERS MUST OCCUR TO FACILITATE ERECTION, PROVIDE PARTIAL PENETRATION SQUARE GROOVE WELD (BUTT JOINT) WITH 3/16" EFFECTIVE THROAT ON ONE SIDE, EACH LEG.

STEEL DECK CONSTRUCTION

- 1. STEEL DECK DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE LATEST AND THE STEEL DECK INSTITUTE SPECIFICATIONS. STEEL ROOF DECK SHALL BE CONTINUOUS OVER A MINIMUM OF 3 SPANS.
- 3. DO NOT HANG OR SUPPORT ANY LOADS SUCH AS STUD WALLS, BULKHEADS, PIPES, ETC. FROM STEEL ROOF DECK.

SHORING / BRACING DESIGN AND INSTALLATION

- 1. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENGINEERING, SUPPLYING, AND INSTALLING ALL TEMPORARY SHORING AND BRACING NECESSARY TO RESIST GRAVITY AND LATERAL LOADS AS THE EXISTING BUILDING IS SELECTIVELY DEMOLISHED AND RECONSTRUCTED WITH NEW STRUCTURAL ELEMENTS. THE DESIGN OF SHORING SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF KENTUCKY IN CONSIDERATION OF APPLIED, POTENTIAL AND CONSTRUCTION LOADING; CONSTRUCTION METHODS, TECHNIQUES AND SEQUENCE; LOADING AND ANALYSIS OF THE EXISTING STRUCTURE AND ITS ABILITY TO TRANSFER LOADS TO THE SHORING AND BRACING SYSTEM: AND SCHEDULE. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT (FOR THEIR RECORDS) TEMPORARY SHORING DRAWINGS (PLANS AND ALL NECESSARY DETAILS) THAT ARE SEALED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION. SHORING SUBMITTAL SHALL ALSO INCLUDE A WRITTEN DESCRIPTION OF THE INTENDED CONSTRUCTION SEQUENCE, PREPARED BY THE SHORING ENGINEER, AND REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT FOR THEIR RECORDS, SHORING SUBMITTAL SHALL INCLUDE WRITTEN DESCRIPTION OF LOADS AND LOAD COMBINATIONS CONSIDERED. SUBMITTALS SHALL BE RECEIVED FOR RECORD, AND ARE NOT CONSIDERED AN ACTION SUBMITTAL BY THE
- 2. SHORING AND BRACING IS REQUIRED, BUT IS NOT LIMITED TO, THE FOLLOWING: A. WHERE DEMOLITION OF ROOF MEMBERS (DECKING) REMOVE LATERAL BRACING TO WALL MEMBERS.
- B. WHERE DEMOLITION OF ROOF DIAPHRAGM LATERAL LOAD RESISTING SYSTEM REMOVES BUILDING RESISTANCE TO LATERAL WIND, SEISMIC, OR EARTH LOADS.
- 3. CEASE DEMOLITION OPERATIONS AND NOTIFY ARCHITECT IF ANY EXISTING STRUCTURAL ELEMENT TO REMAIN IN SERVICE DEVELOPS CRACK, BOW, DEFLECTION, ETC. OR IF ANY COMPONENT OF THE EXISTING STRUCTURE APPEARS DAMAGED, CORRODED OR OTHERWISE COMPROMISED.

ROOF, FLOOR, OR WALL OPENINGS

- 1. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE NUMBER, SIZE, AND LOCATION OF ALL SLEEVES AND OPENINGS REQUIRED FOR MECHANICAL OR ELECTRICAL ITEMS.
- 2. SLEEVES AND OPENINGS SHALL BE LOCATED IN A MANNER THAT WILL MAINTAIN THE STRUCTURAL INTEGRITY OF THE ROOF, FLOOR, OR WALL SYSTEM.
- 3. NO STRUCTURAL ELEMENTS ARE TO BE CUT UNLESS SPECIFICALLY APPROVED BY THE ENGINEER.

GYMNASIUM BUILDNG IMPROVEMENTS

BLACK & WILLIAMS NEIGHBORHOOD CENTER

498 GEORGETOWN ST. - LEXINGTON, KENTUCKY

johnson • early • architects 131 prosperous place, suite 19b • lexington, kentucky 40509 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyjb@jearchitects.net

GENERAL NOTES

PROPOSAL REQUEST #08

RENOVATION AND REUSE OF EXISTING STRUCTURES

CONSTRUCTION DOCUMENTS.

SITE OBSERVATION BY THE STRUCTURAL ENGINEER

CORRECTIVE ACTION FOR DESIGN TEAM REVIEW.

AND DEFICIENCIES IN THE WORK OF THE CONTRACTOR.

1. THE OWNER SHALL UNDERSTAND THAT EXISTING STRUCTURES MAY HAVE BEEN

CONSTRUCTED PRIOR TO BUILDING CODE ADOPTION, TO A PREVIOUS CODE EDITION.

OR NONCOMPLIANT TO CODE AND THAT THE ENGINEER SHALL NOT BE RESPONSIBLE

FOR DISCOVERY OF CONSTRUCTION TECHNIQUES, CONDITION, OR ADEQUACY OF EXISTING STRUCTURE TO REMAIN STRUCTURALLY UNMODIFIED AS PART OF THIS

2. IN ELECTING TO REUSE AN EXISTING STRUCTURE THE OWNER SHALL REMAIN SOLELY

3. DISCOVERY OF AND PROVISION FOR DEFERRED MAINTENANCE AND REPAIR OF THE

STRUCTURAL ELEMENTS MAY HAVE NOT BEEN STRENGTHENED. SUPPLEMENTED.

STRUCTURAL ELEMENT AS A RESULT OF THE INTENDED ALTERATIONS. NO MORE THAN 10% INCREASE IN DEMAND-CAPACITY RATIO OF AN EXISTING

1. THE ENGINEER HAS NO CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE

CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ACTS OR OMISSIONS OF THE

CONTRACTOR, ANY SUBCONTRACTOR, MATERIAL SUPPLIER, OR AGENTS THEREOF

SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM ITS

WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR APPLICABLE LAWS,

AND INSPECTION ONCE SUCH ARE DISCOVERED, AND FOR PROVIDING ENGINEERED

IS SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK OF THE CONTRACTOR IS

THE CONSTRUCTION WORK BUT RATHER PERIODIC IN FEFORT TO INFORM THE CUIENT

ABOUT GENERAL PROGRESS AND TO ADVISE THE CLIENT ABOUT OBSERVED DEFECTS

3. PERIODIC SITE OBSERVATION BY FIELD REPRESENTATIVES OF BROWN+KUBICAN, PSC

PROCEEDING IN GENERAL ACCORDANCE WITH THE STRUCTURAL CONTRACT

DOCUMENTS. THIS LIMITED SITE OBSERVATION SHALL NOT BE CONSTRUED AS EXHAUSTIVE OR CONTINUOUS TO CHECK THE QUALITY, QUANTITY, OR ACCURACY OF

CODES, RULES, OR REGULATIONS. THE CONTRACTOR SHALL MAINTAIN SOLE RESPONSIBILITY FOR DEFECTS AND DEFICIENCIES, INCLUDING PROVIDING TESTING

THE ENGINEER DOES NOT GUARANTEE THE PERFORMANCE OF THE CONTRACTOR AND

FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES;

FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK: OR FOR THE FAILURE OF ANY OF THEM TO

DOCUMENTS EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE IN THE

4. IN KEEPING WITH CURRENT CODE PROVISIONS, EXISTING LOAD-CARRYING

REPLACED, OR OTHERWISE ALTERED IF CALCULATIONS SHOWED:

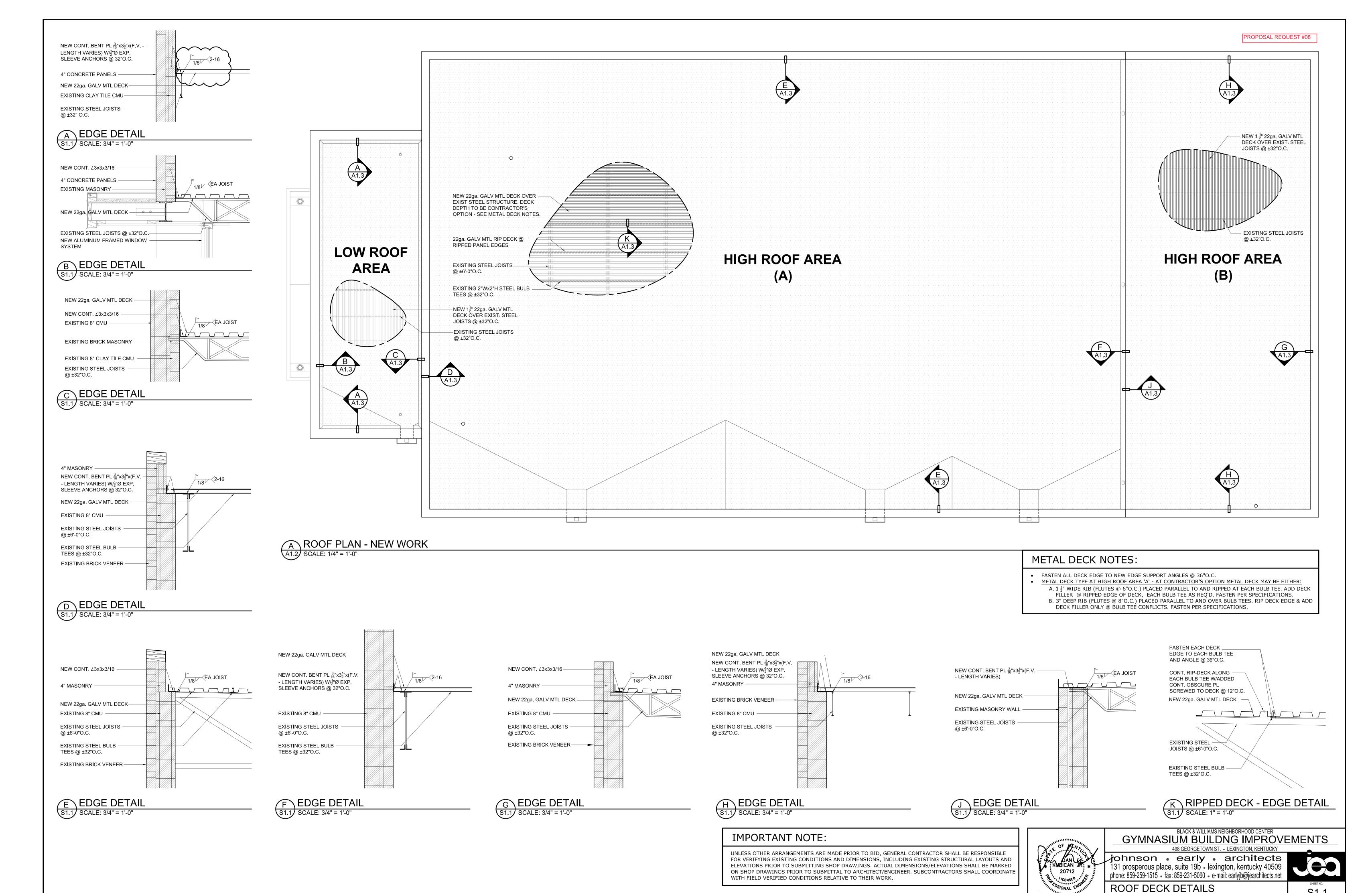
EXCEPT WHERE MODIFIED BY THE CONSTRUCTION PROJECT.

RESPONSIBLE FOR THE CONDITION AND ADEQUACY OF THE EXISTING STRUCTURE,

STRUCTURE ARE NOT INCLUDED IN THE SCOPE OF THE ENGINEER OR CONSTRUCTION

a. NO MORE THAN 5% INCREASE IN DESIGN GRAVITY LOAD APPLIED TO THAT EXISTING

LATERAL LOAD-CARRYING ELEMENT OR ALTERATION RESULTING IN A STRUCTURAL



S1.1

SPECIFICATIONS

SECTION 014110 - STRUCTURAL SPECIAL INSPECTION & CONTRACTOR RESPONSIBILITY PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to 1.2 SUMMARY
- Special Inspections as defined in Section 1704 of The Kentucky Building
- Special inspections per Kentucky Building Code Sections 1704 and 1705 are required for Steel Construction per Section 1705.2 of the Kentucky Building Code
- The structural special inspections required on this project are further defined in the Special Inspections section of the structural drawings.
- 1.3 SCOPE All inspections and tests performed shall be documented by report including, but not limited to, inspections for welding and deck attachment,
- 1.4 DEFINITIONS
 - A. In accordance with the intent of the Building Code, inspection work specified to be "continuous" shall be inspected the full, uninterrupted time that the Contractor is performing said construction work. Work specified to be "periodic" may be inspected as convenient to the Inspector, except that all work must be inspected prior to being covered by other work, during the working hours of the Contractor, and in a fashion that does not delay the Contractor. Regardless as to whether inspections are performed in "continuous" or "periodic" fashion, 100% of the construction work shall be inspected, unless noted otherwise.
- 1.5 SELECTION AND PAYMENT A. The Inspection Agency shall be retained by the Owner. Costs for reinspection and retesting, should discrepancies be found, will be paid for by the Owner, except where rework is due to negligence or omission
 - deemed excessive by the Owner. In case of excessive rework, such retesting and reinspection shall be paid for by the Owner as an additional service of the Inspection Agency, but will be backcharged by deductive change order to the Contractor's contract.
 - In case of excessive waste/lost time of the Special Inspector due to inadequate scheduling by the General Contractor, such time shall be paid for by the Owner as an additional service of the Inspection Agency but will be backcharged by deductive change order to the Contractor's contract.
- 1.6 QUALITY ASSURANCE
 - A. Qualified Certification Authorities: Subject to compliance with Kentucky Building Code Requirements, Qualified Certification Authorities providing certification which may be applicable to Project include:

American Institute of Steel Construction (AISC).

- American Society of Nondestructive Testing (ASNT). American Welding Society (AWS).
- International Code Council (ICC).
- National Institute of Certified Engineering Technology (NICET). PART 2 - EXECUTION
- 2.1 CONTRACTOR'S RESPONSIBILITIES
- A. Provide a complete copy of all structural shop drawings to the Structural Testing/Inspection Agency. Notify the Structural Testing/Inspection Agency sufficiently in advance of
- operations to allow assignment of personnel and scheduling of tests. Cooperate with Structural Testing/Inspection Agency and provide access, including equipment with operator, to work. Access equipment includes, but is not limited to, man lifts, excavation equipment, etc.
- Provide samples of materials to be tested in required quantities. Provide storage space for Structural Testing/Inspection Agency's exclusive
- use, such as for storing and curing concrete testing samples. Provide labor to assist the Structural Testing/Inspection Agency in performing tests/inspections.
- Construction and work for which Special Inspection is required shall remain accessible and exposed for special inspection purposes until the completion
- All parties who are to receive inspection and testing reports shall maintain
- an active email account to receive reports by. General Contractor shall create and maintain a discrepancy log on site. Log shall list each discrepancy documented by the Special Inspector; state the date of discovery and Special Inspector's report number; and provide room for the Special Inspector to sign and date when said discrepancy is corrected. No work containing discrepancy shall be covered prior to having
- reinspection and approval by the Special Inspector. Neither the observation of the Architect/Structural Engineer in the administration of the contract, nor tests/inspections by the Testing/Inspection Agency, nor approvals by any other person(s) shall relieve the Contractor from their obligation to perform the work in accordance with the Contract Documents.
- 2.2 SPECIAL INSPECTOR'S RESPONSIBILITIES Cooperate with the Contractor and provide timely service.
- inspection/test Upon arriving at the construction site, sign in and notify the Contractor of

Notify Contractor of minimum advance notice for each type of

- Select the representative samples that are to be tested/inspected.
- Perform tests/inspections as outlined in the Contract Documents, the applicable codes, and as directed by the Structural Engineer.
- Keep records of all inspections. Furnish inspection reports to the Architect and General Contractor weekly as construction progresses.
- 1. Each report shall include photographs of the project status and the typical work inspected and documented in that subject report. These general photographs are in addition to the required photograph at discrepancies.
- Format of report deliverables shall be Special Inspection Report (PDF), Project Photographs (JPG), and Related Supporting Documentation (PDF).
- H. Inform General Contractor and / or Fabricator of all discrepancies immediately for correction.
- Document in writing correction of discrepancies. Highlight discrepancies within the report.
- The report shall include a text description of each
- discrepancy. Description shall convey the discrepancy ocation on the project and the issue. The report shall include a photograph of each discrepancy observed in the field and/or in the shop. Photograph shall be
- labeled to convey location on project and the issue shown. (Photographs of material strength tests for concrete and/or masonry are not required, unless otherwise instructed.) The report shall document the date that each discrepancy
- was initially discovered Inspection related discrepancies shall be reinspected by the Special Inspector along the course of the project and prior to concealment by other work. Subsequent reports shall document date that prior discrepancy was confirmed to be
- 3. If discrepancies are not corrected, the discrepancies shall be brought to the attention of the Code Official and the Architect prior to the completion of that phase of the work.
- Leave copies of field notes with the Contractor prior to leaving the construction site. Field notes shall include the message given to the Contractor, date, time of message, name of Contractor's representative informed, type and location of work or materials tested/inspected, whether the work or materials complies with Contract Documents and name of the Structural Testing/Inspection Agency's representative.
- Immediately notify General Contractor and Architect by separate letter if work yet to be inspected is found on site that is either being covered by other work or was to receive continuous inspection.
- Structural Testing/Inspection Agency shall not alter requirements of Contract Documents, approve or reject any portion of the work, or perform duties of the Contractor.
- Submit a final report of inspections documenting completion of all required Special Inspections and correction of any discrepancies noted in inspections to the Architect. Final report shall be prepared by, sealed, and signed by the Special Inspector and shall include a complete list of

materials and work inspected during the course of the project. One copy of said report is to be provided to the Contractor for their records. END OF SECTION 014110

SECTION 051000 - STRUCTURAL ANCHORS

- 1.1 RELATED DOCUMENTS
- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section. 1.2 SUMMARY
- This Section includes post-installed metal anchors in masonry, as shown on drawings including schedules, notes, and details showing size and location of anchors, typical connections, and types of anchors required. Adhesive anchors.
- Sleeve anchors. Related Sections: The following Sections contain requirements that relate to
- Division 1 Section "Structural Special Inspection." Division 5 Section "Structural Steel Framing."
- 1.3 DEFINITIONS A. Threaded Rod: A rod that is continuously threaded for the full length of the rod unless noted otherwise
- 1.4 ACTION SUBMITTALS General: Furnish submittals in quantity, format, and other Conditions of the Contract and as specified in Division 1 of the Project Manual.
- Product Data for each type of product specified. Include manufacturer's specifications, load charts, and other data to show compliance with the specifications (including specified standards). 1.5 INFORMATIONAL SUBMITTALS
- General: Furnish submittals in quantity, format, and other Conditions of the Contract and as specified in Division 1 of the Project Manual. Installer Qualifications and Procedures: Submit a letter of procedure stating method of drilling, the product proposed for use, the complete installation procedure, manufacturer training date, and a list of the personnel to be
- trained on anchor installation. ICC ES Evaluation Reports/Certificates.
- 1.6 QUALITY ASSURANCE Installer Qualifications: Anchors shall be installed by an installer with at least 1 year of experience performing installations similar in material,
- successful in-service performance. Installer Training: Conduct a thorough training with the manufacturer or the manufacturer's representative for the installer on the project. Training to consist of a review of the complete installation process for drilled-in anchors, to include but not limited to:
 - Hole drilling procedure.
 - Hole preparation & cleaning technique. Adhesive injection technique & dispenser training / maintenance.

design, and extent to that indicated for this Project and with a record of

- Rebar dowel preparation and installation. Proof loading/torquing. Certifications: Unless otherwise authorized by the Engineer, anchors shall have an ICC ES Evaluation Report indicating conformance with current
- applicable ICC ES Acceptance Criteria. 1.7 DELIVERY, STORAGE, AND HANDLING Deliver anchors to Project site in such quantities and at such times to
- ensure continuity of installation Store materials to permit easy access for inspection and identification. Protect anchors and packaged materials from erosion and deterioration.
- Keep anchors, rod materials, nuts and washers in original manufacturer's packaging with label intact until needed for use Store all anchoring products in strict accordance with manufacturer's
- recommendations. For adhesive anchors, consider temperature, exposure to sunlight, and shelf life. 1.8 SEQUENCING
- Supply anchorage items to be embedded in or attached to other construction without delaying the Work. Provide setting diagrams, templates, instructions, and directions, as required, for installation.
- 2.1 GENERAL
- Specified adhesive anchors with continuously threaded rod and screen tube may be used in lieu of sleeve anchors at contractor's option and shall be used otherwise wherever the sleeve anchors may not properly anchor to the existing masonry
- 2.2 FASTENERS AND HARDWARE Carbon Steel Continuously Threaded Rod: ASTM A36 or ASTM A193
- 2.3 ADHESIVE ANCHORS
 - Cartridge Injection Hybrid Adhesive Anchors: two-component material consisting of resin, hardener, cement and water, suitable for fastening into material containing voids and holes. For use in hollow concrete masonry, brick with holes, and multi-wythe brick construction. Available Products: Subject to compliance with requirements,
 - products that may be incorporated in the Work include, but are not limited to, the following: HIT HY 270 System with HAS-E (ISO 898 Class 5.8 grade
 - 58) threaded rods. Hilti AC100+ Gold Adhesive with A307 threaded rod, for use in hollow concrete masonry, DEWALT/ Powers.
- ASTM A563 heavy hex carbon-steel nuts; ASTM F436 hardened carbon-steel washers; and ASTM A36 plate washers. 2.4 MECHANICAL ANCHORS
 - General: Anchor length shall be as necessary to provide the appropriate projection for the material that is being connected, the washer and full (100% of depth) engagement of the nut, and specified embedment. Embedment depth shall be respective to face of substrate (not attached material). See structural drawings for required minimum embedment of mechanical anchors; where no embedment is specified, provide anchors of sufficient length to result in manufacturer's maximum recommended
 - effective embedment depth Basis of design: Structural anchors have been designed using Hilti products as basis of design. Where alternative anchors are substituted which are manufacturer rated as a weaker product for the given application, even when listed as an approved available product, contractor shall decrease member spacing (thereby increasing quantity of anchors) by a
 - proportional amount as part of the base bid. Sleeve Anchors: Torque-controlled, exhibiting follow-up expansion under load, with provision for rotation prevention during installation. Type and size as indicated on Drawings. Suitable for fastening into material containing voids and holes, hollow concrete, hollow concrete masonry, and solid brick.
 - Interior Use: Unless otherwise indicated on the Drawings, provide carbon steel anchors manufactured from materials conforming to ISO 898 Part 1, with zinc plating equivalent to ASTM B633, Type III Fe/Zn 5 (5µm min.).
 - Available Products: Subject to compliance with requirements, products that may be incorporated in the Work include, but are not limited to, the following:
 - Hilti HLC. DeWalt/ Powers Lok/Bolt.

PART 3 - EXECUTION 3.1 INSTALLATION

- Drill holes with rotary impact hammer drills using carbide-tipped bits and core drills using diamond core bits. Drill bits shall be of diameters as specified by the anchor manufacturer. Unless otherwise shown on the Drawings, all holes shall be drilled perpendicular to the concrete surface. Drill hole to the specified nominal embedment plus additional length as specified by the Anchor Manufacturer.
- Cored Holes: Where anchors are to be installed in cored holes, use core bits with matched tolerances as specified by the manufacturer. Acrylic Adhesive Anchors shall not be installed in core drilled holes.
- Embedded Items: Identify position of reinforcing steel and other embedded items prior to drilling holes for anchors. Exercise care in coring or drilling to avoid damaging existing reinforcing or embedded items. Notify the Engineer if reinforcing steel or other embedded items are encountered during drilling. Take precautions as

- necessary to avoid damaging prestressing tendons, electrical and telecommunications conduit, and gas lines.
- Base Material Strength: Unless otherwise specified, do not drill holes in concrete or masonry until concrete, mortar, or grout has achieved full design strength.
- Observe manufacturer recommendations with respect to installation temperatures for cartridge injection adhesive anchors and capsule
- 6. Perform anchor installation in accordance with manufacturer instructions.
- Cartridge Injection Adhesive Anchors: Prepare all holes per manufacturer instructions by cleaning to remove loose material and drilling dust prior to installation of adhesive. Systems specifically manufactured and tested to allow installation in unclean holes, such as the "Safe Set" system by Hilti, are permitted only after notification and approval by Engineer of
- Holes shall be dry or damp. Wet holes may be acceptable only after notification and approval by Engineer or Record and with use of adhesive suitable for wet conditions.
- Follow manufacturer recommendations to ensure proper mixing of adhesive components Inject adhesive into holes proceeding from the bottom of the hole and progressing toward the surface in such a manner as to avoid
- introduction of air pockets in the adhesive. Sufficient adhesive shall be injected in the hole to ensure that the annular gap is filled to the surface. Remove excess adhesive from the surface.
- Shim anchors with suitable device to center the anchor in the hole. Do not disturb or load anchors before manufacturer specified cure time has elapsed. 3.2 QUALITY CONTROL
- Correct deficiencies in or remove and replace anchors that inspections and test reports indicate do not comply with specified requirements. END OF SECTION 051000

SECTION 051200 - STRUCTURAL STEEL FRAMING

PART 1 – GENERAL 1.1 RELATED DOCUMENTS

- Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
- This Section includes fabrication and erection of structural steel work, as shown on drawings including schedules, notes, and details showing size and location of members, typical connections, and types of steel required. Structural steel is that work defined in American Institute of Steel Construction (AISC) "Code of Standard Practice" and as otherwise
- shown on drawings. Furnish and install diaphragm angles and plate.
- Furnish and install roof opening frames. Related Sections: The following Sections contain requirements that relate to this Section:
- Division 1 Section "Structural Special Inspection." Division 5 Section "Structural Anchors." Division 5 Section "Steel Decking."
- A. Structural Steel: Elements of the structural frame indicated on Drawings and as described in AISC 303, "Code of Standard Practice for Steel
- Buildings and Bridges." 1.4 QUALITY ASSURANCE Installer Qualifications: Engage an experienced Installer who has completed structural steel work similar in material, design, and extent to that indicated
- for this Project and with a record of successful in-service performance. Fabricator Qualifications: Engage a firm experienced in fabricating structural steel similar to that indicated for this Project and with a record of
- successful in-service performance, as well as sufficient production capacity to fabricate structural steel without delaying the Work.
- Comply with applicable provisions of the following specification documents: AISC 360 "Specification for Structural Steel Buildings."
- AISC 303 "Code of Standard Practice for Steel Buildings and American Welding Society's (AWS) D1.1-2010 "Structural Welding Code - Steel.
- ASTM A 6 "Standard Specification for General Requirements for Rolled Structural Steel Bars, Plates, Shapes, and Sheet Piling." AISC - Steel Construction Manual, 14th Edition.
- AWS "Standard for AWS Certified Welders" AWS QC7-93. SSPC – Steel Structures Painting Manual, Volume 1 and 2, latest
- SSPC Surface Preparation Specification, SP1 through SP15. Welding Qualifications and Standards: Qualify procedures and personnel in accordance with applicable provisions of AWS D1.1 "Structural Welding
- Code Steel" and AISC 360. All shop and field welding shall be performed by personnel qualified by AWS procedure and who have engaged in the necessary processes of welding during each six-month period since the latest qualification.
- 1.5 DELIVERY, STORAGE, AND HANDLING A. Store materials to permit easy access for inspection and identification. Keep steel members off ground by using pallets, platforms, dunnage, or other supports and spacers. Protect steel members and packaged materials from
 - . Do not store materials on structure in a manner that might cause distortion, damage, or overload to members or supporting structures. Repair or replace damaged materials or structures as
- PART 2 PRODUCTS
- 2.1 STRUCTURAL STEEL MATERIALS A. All structural steel shapes shall be new, unused and perfect stock, free from millscale, rust, flake, pitting, and imperfections, without bends, kinks, and distortions. Shop splicing of members will only be permitted if the member
- exceeds maximum mill length. Channels, Angles, Plates and Bars: ASTM A36, Grade 36. Welding Electrodes: Comply with AWS requirements. 2.2 PRIMER
- Primer for uncoated steel: Fast-drying, low VOC, lead- and chromate-free, non-asphaltic, rust-inhibiting primer. Primer to be formulated for application over SSPC SP2 or SP3 prepared surfaces. 2.3 FABRICATION
- Fabricate and assemble structural steel in shop to greatest extent possible. Fabricate structural steel according to AISC 303, "Code of Standard Practice for Steel Buildings and Bridges," AISC 360, and other specifications referenced in this Section and in Shop Drawings
- Thermal Cutting: Perform thermal cutting by machine to greatest extent . Plane thermally cut edges to be welded to comply with requirements
- 2.4 SHOP CONNECTIONS A. Weld Connections: Comply with AWS D1.1 for procedures, appearance and quality of welds, and methods used in correcting welding work. Remove all cracks, pores, slag inclusions, incomplete fusions, and incomplete penetrations over ½" long in any weld and reweld.
- 2.5 SURFACE PREPARATION FOR COATINGS Surface Preparation: Clean surfaces to be painted. Remove dirt, loose rust, loose mill scale, and spatter, slag, or flux deposits. Wipe steel surfaces with solvent to remove rolling oils that impair primer bond. Prepare surfaces according to SSPC specifications by SSPC-SP 2 "Hand Tool Cleaning". 2.6 SHOP PRIMING
 - conditions between surface preparation and priming. Priming operation shall be performed in continuous operation with surface preparation. Shop prime steel surfaces, except the following: Surfaces embedded in concrete or mortar other than column bases and steel lintels. Extend priming of partially embedded members to a

General: Structural steel shall not be exposed to open atmospheric

depth of 2 inches (50 mm). Priming: Immediately after surface preparation, apply primer according to manufacturer's instructions and at rate recommended by SSPC to provide a

SPECIFICATIONS

- dry film thickness of not less than 1.5 mils. Use priming methods that result in full coverage of joints, corners, edges, and exposed surfaces.
- Stripe paint corners, crevices, bolts, welds, and sharp edges. Apply 2 coats of shop paint to inaccessible surfaces after assembly or erection. Change color of second coat to distinguish it from first.
- Steel to be concealed by other trades or which is exposed to view more than 20 feet above or lateral to a walking surface below may have primer applied by brushing, spraying, rolling, flow coating, dipping or other suitable means, at the election of the fabricator.
- Steel to be exposed to view in the finished structure less than 20 feet above or to a walking surface shall have primer applied by spraying or smooth nap roller.
- PART 3 EXECUTION 3.1 EXAMINATION
 - A. Before erection proceeds, and with the steel erector present, verify elevations of concrete and masonry bearing surfaces and locations of anchorages for compliance with requirements.
- corrected. 3.2 ERECTION A. Do not use thermal cutting during erection unless specifically approved by

B. Do not proceed with erection until unsatisfactory conditions have been

- After erection, remove weld flux, rust, dirt or other foreign material from areas to receive touch-up paint. Repaint areas where protective coating has been damaged or is missing with shop primer paint.
- 3.3 FIELD CONNECTIONS Weld Connections: Comply with AWS D1.1 for tolerances, appearances, welding procedure specifications, weld quality, and methods used in correcting welding. Remove all cracks, pores, slag inclusions, incomplete fusions, and incomplete penetrations over ½" long in any weld and reweld. Comply with AISC 303 and AISC 360 for bearing, adequacy of
 - temporary connections, alignment, and removal of paint on surfaces adjacent to field welds. Remove backing bars or runoff tabs where indicated, back gouge, and grind steel smooth
- Assemble and weld built-up sections by methods that will maintain true alignment of axes without warp. 3.4 QUALITY CONTROL A. General: The Owner will engage an independent testing and inspecting
- agency to perform inspections and tests and to prepare test reports. Testing agency will conduct and interpret tests and state in each report whether tested Work complies with or deviates from requirements. Failure to detect any defective materials shall not prevent later rejection when such defect is discovered, or obligate the Architect or Owner for final acceptance. See Section 014110 – Structural Special Inspections and Contract
- Drawings for testing and inspection to be performed. Provide access for testing agency to places where structural steel work is being installed so that required inspection and testing can be
- accomplished. Reports will be delivered to the Architect and the General Contractor within one week of inspection.
- Deviations from requirements of the contract documents will be reported in writing to the General Contractor within 24 hours. Correct deficiencies in or remove and replace structural steel that
- inspections and test reports indicate do not comply with specified requirements 3.5 REPAIRS AND PROTECTION
 - A. Touchup Priming: Immediately after erection, clean field welds, bolted connections, abraded areas of shop primer, and exposed areas where primer is damaged or missing. Apply primer using same material as used for shop painting to comply with SSPC-PA 1 for touching up shop painted
 - Clean and prepare surfaces by SSPC-SP 2 hand-tool cleaning or SSPC-SP 3 power-tool cleaning for standard primers and SSPC-SP6 Commercial Blast Cleaning for zinc-rich primers.
 - Apply by brush or spray to provide a minimum dry film thickness of 1.5 mils (0.038 mm). END OF SECTION 051200
- SECTION 053100 STEEL DECKING PART 1 – GENERAL 1.1 RELATED DOCUMENTS A. Drawings and general provisions of the Contract, including General and
- Supplementary Conditions and Division 1 Specification Sections, apply to 1.2 SUMMARY
- This Section includes the following: Steel roof deck Long-span steel roof deck. Related Sections: The following Sections contain requirements that relate to
- Division 1 Section "Structural Special Inspection." Division 5 Section "Structural Steel Framing."
- 1.3 ACTION SUBMITTALS General: Furnish submittals in quantity, format, and other Conditions of the Contract and as specified in Division 1 of the Project Manual.
- Product data including manufacturer's specifications and installation instructions for each type of deck, accessory, and product specified. Shop drawings showing layout and types of deck panels, anchorage details,
- reinforcing channels, pans, deck openings, special jointing, accessories, and attachments to other construction. Shop drawings which show the Architect's or Engineer's title block, logo and/or seal will be rejected and returned unchecked.

Shop drawing resubmittals are reviewed for conformance with

- review marks only. Any changes or questions originating on a resubmittal shall be clearly clouded. 1.4 QUALITY ASSURANCE A. Codes and Standards: Comply with provisions of the following codes and
- standards, except as otherwise indicated American Iron and Steel Institute (AISI), "Specification for the Design of Cold-Formed Steel Structural Members.' Steel Deck Institute (SDI), "Design Manual for Composite Decks,
- Form Decks and Roof Decks. Installer Qualifications: Engage an experienced Installer who has completed steel deck similar in material, design, and extent to that indicated for this Project and with a record of successful in-service performance.

Protect with a waterproof covering and ventilate to avoid condensation.

- 1.5 DELIVERY, STORAGE, AND HANDLING Protect steel deck from corrosion, deformation, and other damage during delivery, storage, and handling. Stack steel deck on platforms or pallets and slope to provide drainage.
- PART 2 PRODUCTS MANUFACTURERS A. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated in the Work
- include, but are not limited to, the following: Epic Metals Corp. New Millennium Building Systems, LLC.
- Vulcraft Div. Of Nucor Corp. 2.2 ROOF DECK Steel Roof Deck: Fabricate panels without top-flange stiffening grooves conforming to SDI Publication No. 28 "Specifications and Commentary for Steel Roof Deck" and the following:
 - Galvanized-Steel Sheet: ASTM A 446, Grade A, G 60 zinc coated according to ASTM A 653. Deck Profile: Type WR, wide rib.

manufacturer.

Side Joints: nested. 2.3 ACCESSORIES A. General: Provide accessory materials for steel deck that comply with requirements indicated and recommendations of the steel deck

Deck Profile: Type 3DR, deep rib.

Profile Depth: as indicated on drawings.

Span Condition: As indicated on drawings.

Design Uncoated-Steel Thickness: 0.0295 inch.

- Mechanical Fasteners: Manufacturer's standard, corrosion-resistant, lowvelocity, powder-actuated or pneumatically driven carbon steel fasteners; or self-drilling, self-threading screws.
- Self Drilling Steel Screws: Manufacturer's standard hexagonal washer head, self-drilling, carbon steel screws. Screws shall be zinc electroplated to 5μm (minimum) thickness in accordance with ASTM B633 SC1 Type III. Select point type and size and thread length per manufacturer's
 - recommendations to fully engage in the base material. Available Products: Subject to compliance with requirements, products that may be incorporated in the Work include, but are not limited to, the following:
- a. Hilti S-MD. Powder or Pneumatic Fasteners: Modified AISI 1070 steel, minimum hardness 54 Rockwell C, minimum tensile strength of 285 ksi, and minimum shear strength of 175 ksi; with zinc plating equivalent to ASTM B633, Type III Fe/Zn 5 (5μm min.). Fasteners shall have knurled shanks, forged ballistic point, and minimum 12 mm steel washers for bar joists and 15 mm steel washers for structural steel.
 - Available Products: Subject to compliance with requirements, products that may be incorporated in the Work include, but are not limited to, the following:
 - a. Bar Joist and Structural Steel with thickness of 1/8" up to and including 3/8": Hilti X-HSN 24. b. Structural Steel 1/4" or thicker: Hilti X-ENP-19 L15.
- Miscellaneous Roof Deck Accessories: Steel sheet, 0.0359-inch-thick minimum infill plates, finish strips, and reinforcing channels, of same material as roof deck.
- Steel Sheet Accessories: ASTM A 446, G 60 coating class, galvanized according to ASTM A 653. Galvanizing Repair Paint: SSPC-Paint 20 or DOD-P-21035, with dry film containing a minimum of 94 percent zinc dust by weight. Subject to compliance with requirements, products that may be incorporated in the
- work include, but are not limited to, the following: ZRC Galvilite, ZRC Worldwide. PART 3 - EXECUTION

3.2 PREPARATION

- 3.1 EXAMINATION A. Examine supporting framing and field conditions for compliance with requirements for installation tolerances and other conditions affecting performance of steel deck.
- A. Locate decking bundles to prevent overloading of supporting members. 3.3 INSTALLATION, GENERAL Install deck panels and accessories according to applicable specifications and commentary of SDI Publication No. 28, manufacturer's
- Place deck panels on supporting framing and adjust to final position with ends accurately aligned and bearing on supporting framing before being permanently fastened. Do not stretch or contract side lap interlocks. Align deck panels with end laps over joists. All decking shall splice
- over joist supports Place deck panels flat and square and fasten to supporting framing without Cut and neatly fit deck panels and accessories around openings and other

recommendations, and requirements of this Section.

- work projecting through or adjacent to the decking. Provide additional reinforcement and closure pieces at openings as required for strength, continuity of decking, and support of other work. Mechanical fasteners may be used in lieu of welding to fasten deck. Locate
- mechanical fasteners and install according to deck manufacturer's instructions. Where options in fastening methods are given, fastening method of deck shall be compatible with supporting framing; including consideration for
- thickness of supporting steel. 3.4 ROOF DECK INSTALLATION A. Fasten roof deck panels to steel supporting members as follows: Fasten to structural steel supporting members with self-drilling No.
- 12- diameter or larger carbon steel screws or powder actuated fasteners at each support. Fastener Spacing: Screw or pin deck units at ends and all intermediate supports. Space fasteners a maximum of 12 inches or center, with a minimum of four fasteners per unit at each support.
- exceeding 36 inches with self-drilling No. 10- diameter or larger carbon Perimeter Edge Fastening: Fasten perimeter edges of deck to steel supporting members and

Side Lap Fastening: Fasten side laps between supports at intervals not

continuous z-plate along deck edge and fasten to structure and deck in

cover plates, end closures, and reinforcing channels according to deck

- angles with No. 12- diameter or larger carbon steel screws or powder actuated fasteners spaced a maximum of 12 inches on
- End Bearing: Install deck ends over supporting framing with a minimum end bearing of 1-1/2 inches, with end joints as follows: End Joints: Lapped 2 inches minimum. Where layout of deck does not align bottom flute with edge angles / bulb tees / structure for sidelap or complete perimeter fastening, provide
- accordance with perimeter edge fastening requirements. Roof Sump Pans and Sump Plates: Install over openings provided in roof decking, and screw flanges to top of deck. Space screws not more than 12 inches apart with at least one screw at each corner Miscellaneous Roof Deck Accessories: Install infill plates, finish strips,
- manufacturer's recommendations. Screw to substrate to provide a complete deck installation. 3.5 QUALITY CONTROL General: The Owner will engage an independent testing and inspecting agency to perform inspections and tests and to prepare test reports. Testing agency will conduct and interpret tests and state in each report
 - to detect any defective materials shall not prevent later rejection when such defect is discovered, or obligate the Architect or Owner for final acceptance. 1. See Section 014110 – Structural Special Inspections and Contract Drawings for testing and inspection to be performed. Provide access for testing agency to places where steel decking

whether tested Work complies with or deviates from requirements. Failure

work is being installed so that required inspection and testing can be accomplished The General Contractor shall provide the testing agency a complete set of approved shop drawings.

Reports will be delivered to the Architect and the General Contractor

- within one week of inspection. Deviations from requirements of the contract documents will be reported in writing to the General Contractor within 24 hours. Correct deficiencies in or remove and replace steel deck that inspections and test reports indicate do not comply with specified
- 3.6 REPAIRS AND PROTECTION Galvanizing Repairs: Prepare and repair damaged galvanized coatings on both surfaces with galvanized repair paint according to ASTM A 780 and the manufacturer's instructions.



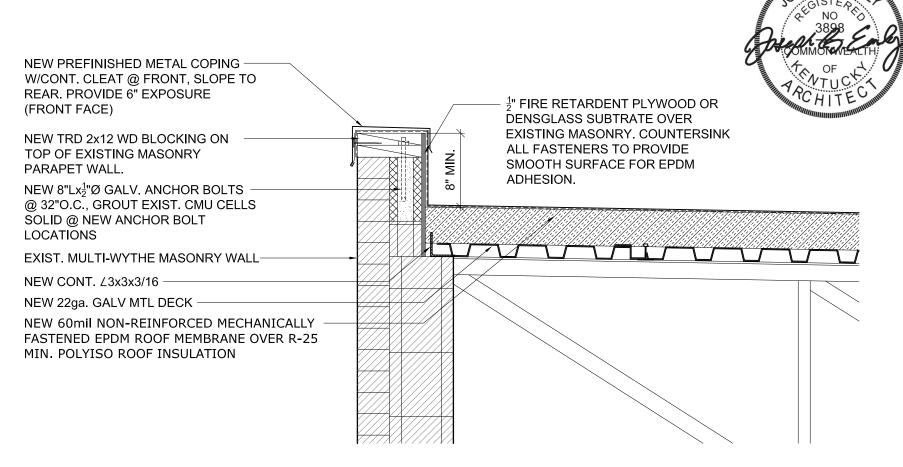
END OF SECTION 053100

GYMNASIUM BUILDNG IMPROVEMENTS 498 GEORGETOWN ST. - LEXINGTON, KENTUCKY

BLACK & WILLIAMS NEIGHBORHOOD CENTER

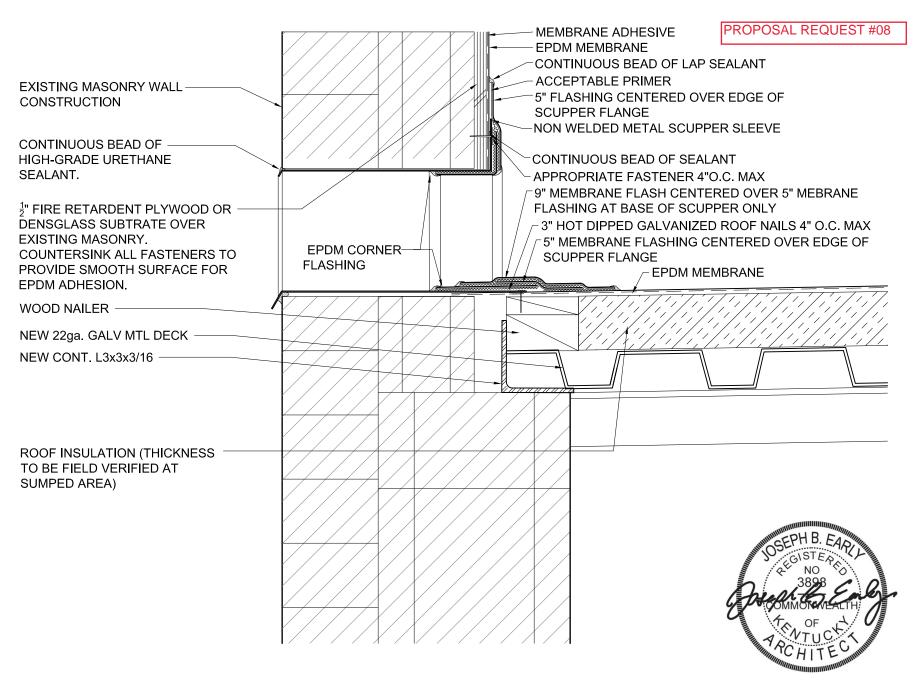
iohnson • early • architects 131 prosperous place, suite 19b • lexington, kentucky 40509 phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyib@iearchitects.net

SPECIFICATIONS DECEMBER 8, 2023



A PARAPET DETAIL

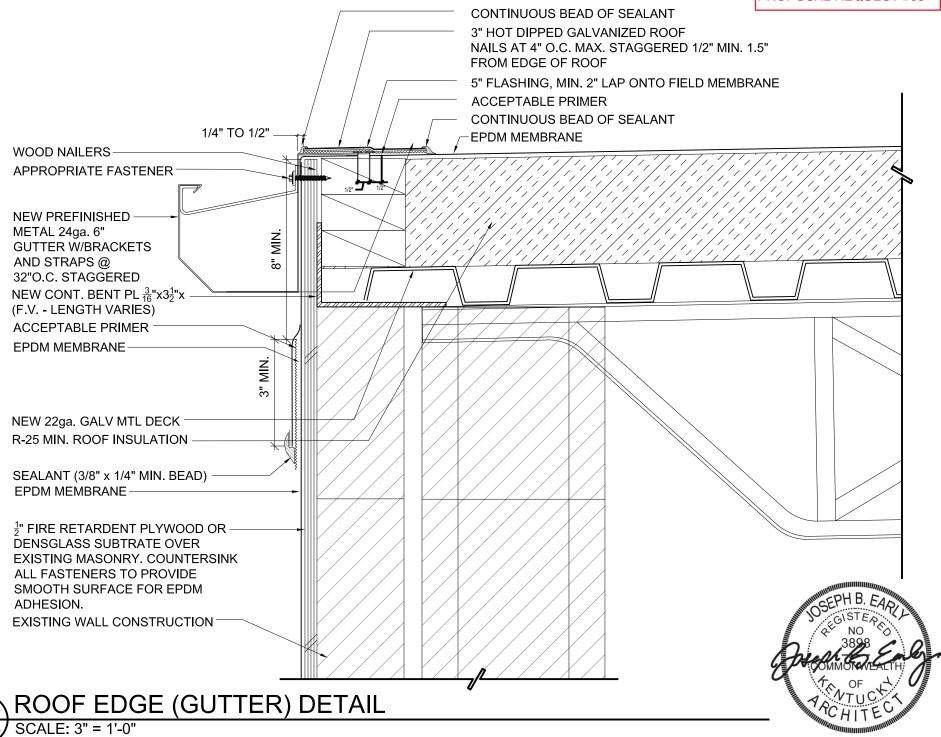
SCALE: 1" = 1'-0"





A1.3 SCALE: 3" = 1'-0"

PROPOSAL REQUEST #08





PROPOSAL REQUEST #08 - PRICING

2025 Leestown Road,	Suite B	DATE January 19, 2023
Lexington, KY 40511		LFUC-Black and Williams Neighborhood Ctr
Phone (859) 254-0011		
tharris@omnico	mmercialky.com	
_	•	
CUSTOMER	LFUC-Black and Williams Neighborhood Ctr	
	498 Georgetown St Ledxington KY 40509	
	Att: Daniel Thornberry	

	DESCRIPTION		TOTAL
CO-006-PCO 008 Roof Deck Demo			
Added 113 additional days to schedul	e for for PCO 008 Schedule attached New final completion date		
PM for 113 Days	•		\$13,156.60
Site Manager for 113 Days			\$39,469.80
Fence Rental			\$4,667.50
Semper FI Gyp Deck Demo and Stee	l Deck Replacement per PCO-008 Brandon Place confirm		\$102,000.00
Confirmed Bond Fee ????			
	LFUCG Requested Deducts		
Deductive Credit for Difference in Deck	Replacment Pricing		(\$5,000.00)
Add Alternate #1 Deduct moving for		(\$30,588.00)	
Credit to LFUCG 190 SF of Gyp Decl	c Repairs		(\$7,222.00)
Excludes any unknown cmu cavity fi	lling or unknown conditions if required to supoport steel angle.		
Proposal good for 30 days			
	Change Order Amount		\$116,483.90
	GC Mark-Up	\$	17,472.59
	Bond Fee	\$	4,018.6
		\$	425.055.4
	(TOTAL AMOUNT OF THIS CHANGE ORDER)	4	(13/,9/5.1
	TOTAL AMOUNT OF THIS CHANGE ORDER Original Contract Amount	\$	1,319,588.0

Travis Harris

From: Audrey Tyree

Sent: Friday, January 19, 2024 3:42 PM

To: Brandon Tyree; Travis Harris; Jeffrey Weneck

Subject: Semper Fi pricing breakdown

Demolition of original roof decking labor \$25,000

Installation of new steel roof decking.

Type A to include material costs* \$32,800

Labor cost \$15,200

(\$25,000 for metal after taxes, \$5,000 for all fasteners, \$2,800 in metal beams, flux, welding materials)

Installation of structural angle iron to include 5/8 in angle iron \$5,000

Material disposal \$4,500

Rental Equipment (lifts and welding generators) \$13,000

General conditions, Cleaning and interior protection \$6,500



Audrey Tyree

Office Administrator | OMNI Commercial

M 859.979.1565 | **P** 859.254.0011 **E** audrey@omnicommercialky.com

2025 Leestown Rd, Suite B, Lexington, KY 40511 omnicommercialky.com



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