CONSTRUCTION PLANS

OF

TRACT I-A
GEORGE N. & PATTY T.
GILPIN PROPERTY

1050 ASHGROVE ROAD
NICHOLASVILLE, KENTUCKY

REVISION NUMBER	REVISION DATE	REVISION SUMMARY
1		
2		
3		
4		

GILPIN PROPERTY, TRACT 1-A - FEBRUARY 2024

UTILITY OWNERS

ELECTRICAL
BLUEGRASS ENERGY
1201 LEXINGTON ROAD
NICHOLASVILLE, KY 40356
(859) 548-4243
CONTACT: CHRIS BREWER

GAS
DELTA NATURAL GAS
501 ETTER DRIVE
NICHOLASVILLE, KY 40356
(859) 553-5272
CONTACT: ANDY APPLEGATE

WATER
JESSAMINE WATER DISTRICT #1
2226 LEXINGTON ROAD
NICHOLASVILLE, KENTUCKY 40356
(859) 885-9314
CONTACT: CARL WAITS

TELEPHONE
WINDSTREAM
130 W. NEW CIRCLE ROAD
LEXINGTON, KENTUCKY 40505
(859) 367-6204
CONTACT: DARREN BUSKIRK

OIL PIPELINE
MARATHON PETROLEUM
1770 OLD FRANKFORT PIKE
LEXINGTON, KENTUCKY 40504
(270) 926-1979
CONTACT: JEFF ERWIN

SANITARY SEWER
JESSAMINE-SOUTH ELKHORN WATER DISTRICT
802 SOUTH MAIN ST.
NICHOLASVILLE, KY 40356
(859) 881-0589
CONTACT: GLENN SMITH

DRAINAGE/STORMWATER
JESSAMINE-SOUTH ELKHORN WATER DISTRICT
802 SOUTH MAIN ST.
NICHOLASVILLE, KY 40356
(859) 881-0589
CONTACT: GLENN SMITH

LFUCG DIVISION OF WATER QUALITY
125 LISLE INDUSTRIAL
LEXINGTON, KENTUCKY 40511
(859) 269-3446
CONTACT: GREG LUBECK

CITY OF NICHOLASVILLE
517 NORTH MAIN ST.
NICHOLASVILLE, KY 40356
(859) 885-5385
CONTACT: TIM CROSS

TRANSPORTATION
KYTC DISTRICT 7
800 NEWTOWN COURT
LEXINGTON, KENTUCKY 40511
(859) 246-2355

The New Look For Digging Safely In Kentucky
Kentucky 811
Call 811 Before You Dig

UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY 811 SAFELY (KUP)" (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATER LINES).

KENTUCKY UNDERGROUND PROTECTION INC.
Kentucky state law requires contractors to call two business days prior to digging. Call 811 or 1-800-752-6007 for a locator request. Any organizations that are not a part of KUP Inc. shall be contacted individually.

GENERAL NOTES

1. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE CITY OF NICHOLASVILLE.
2. PROPERTY SERVICE CONNECTIONS ARE TO BE 1.00% SLOPE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHOULD VERIFY EXISTING ELEVATIONS BEFORE CONSTRUCTION AND NOTIFY ENGINEER WITH ANY DISCREPANCIES.
4. ALL PIPE DIAMETERS SHOWN ON THESE PLANS REPRESENT INSIDE DIAMETERS.
5. MANHOLES SHALL BE 4' INSIDE DIAMETER UNLESS OTHERWISE NOTED.
6. FOR LOCATION OF WATERTIGHT AND NON-WATERTIGHT MANHOLES, SEE PLAN AND PROFILE SHEETS.
7. THE CONTRACTOR MUST OBTAIN THE LATEST ISSUES OF THE CITY OF NICHOLASVILLE ZONING ORDINANCE, SUBDIVISION REGULATIONS, AND GENERAL SPECIFICATIONS. ALL CONSTRUCTION MUST CONFORM TO THESE DOCUMENTS.
8. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED TO THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.
9. THE UTILITY LOCATION INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO ANY CONSTRUCTION. DAMAGE TO ANY EXISTING UTILITY IS TO BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
10. ACCESS POINTS SHALL BE LIMITED TO THOSE SHOWN ON THESE PLANS. SEE GRADING AND EROSION CONTROL PLAN FOR CONSTRUCTION ACCESS POINT.
11. PAVEMENT DESIGN, STORM SEWERS, STORM WATER RETENTION BASINS AND SANITARY SEWERS SHALL MEET THE SPECIFICATIONS OF THE CITY OF NICHOLASVILLE. STORM AND SANITARY SEWERS MUST ALSO MEET THE REQUIREMENTS, SPECIFICATIONS AND STANDARDS OF LFUCG AND JSEWD.
12. THE SITE IS OUTSIDE THE 100 YEAR FLOOD PLAIN AS PER THE NATIONAL FLOOD INSURANCE PROGRAM, NATIONAL FLOOD INSURANCE RATE MAP, JESSAMINE COUNTY, PANEL 21113C0060D, DATED DECEMBER 21, 2017.
13. THE LOCATION OF ADDITIONAL FIRE HYDRANT(S) AND FIRE DEPARTMENT CONNECTION(S) (FDC), AS REQUIRED, SHALL BE APPROVED BY THE CITY OF NICHOLASVILLE.
14. THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES (B.U.D.), INCLUDING NON-MEMBER UTILITIES, PRIOR TO ANY CONSTRUCTION.
15. ANY DAMAGED CURB ALONG THIS PROPERTY WILL NEED TO BE REPLACED AS PART OF THIS PROJECT.
16. DETENTION IS REQUIRED FOR THIS PROJECT.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. THE APPROVED EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EPSC PLAN MUST BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER. EPSC BMPS (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND LFUCG STANDARDS.
2. DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.
3. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.
4. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
5. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.
6. WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICAL, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

BENCHMARKS

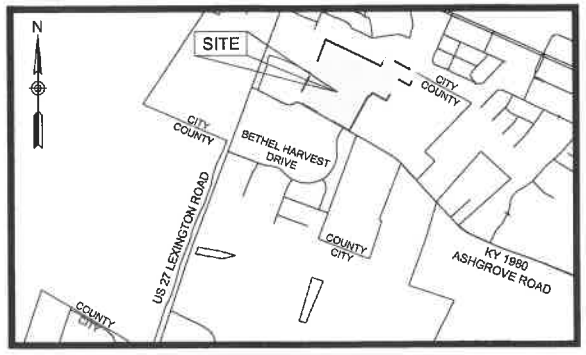
NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM AND WERE DERIVED FROM A GPS SURVEY.

SOURCE BENCHMARK: GPS CONTROL ON GPS-KY STATE PLANE COORDINATE SYSTEM, KY SINGLE ZONE.

ENGINEER TO SUPPLY CONTRACTOR WITH BENCHMARKS AT CONTRACTOR'S DIRECTION.

DISCLAIMER:
IF ANY DISCREPANCIES ARE SHOWN ON THE PLANS HEREIN OR DISCOVERED IN THE FIELD THEN THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONTINUATION OF IMPROVEMENT OPERATIONS. ENGINEER SHALL MAKE FINAL DECISION ON HOW DISCREPANCIES ARE RESOLVED. SHOULD THE OWNER OR CONTRACTOR PROCEED WITHOUT NOTIFYING THE ENGINEER, THEY DO SO AT THEIR OWN RISK AND ASSUME FULL RESPONSIBILITY.

PROJECT: 23163
DRAWN BY: ABR/KJH
DATE: 09/2023
DRAWING: 23163_01.dwg



VICINITY MAP
(N.T.S.)

FOR

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

BY
BANKS

STATE OF KENTUCKY
AUSTIN D. SWINEY
38806
LICENSED PROFESSIONAL ENGINEER
9/20/2024

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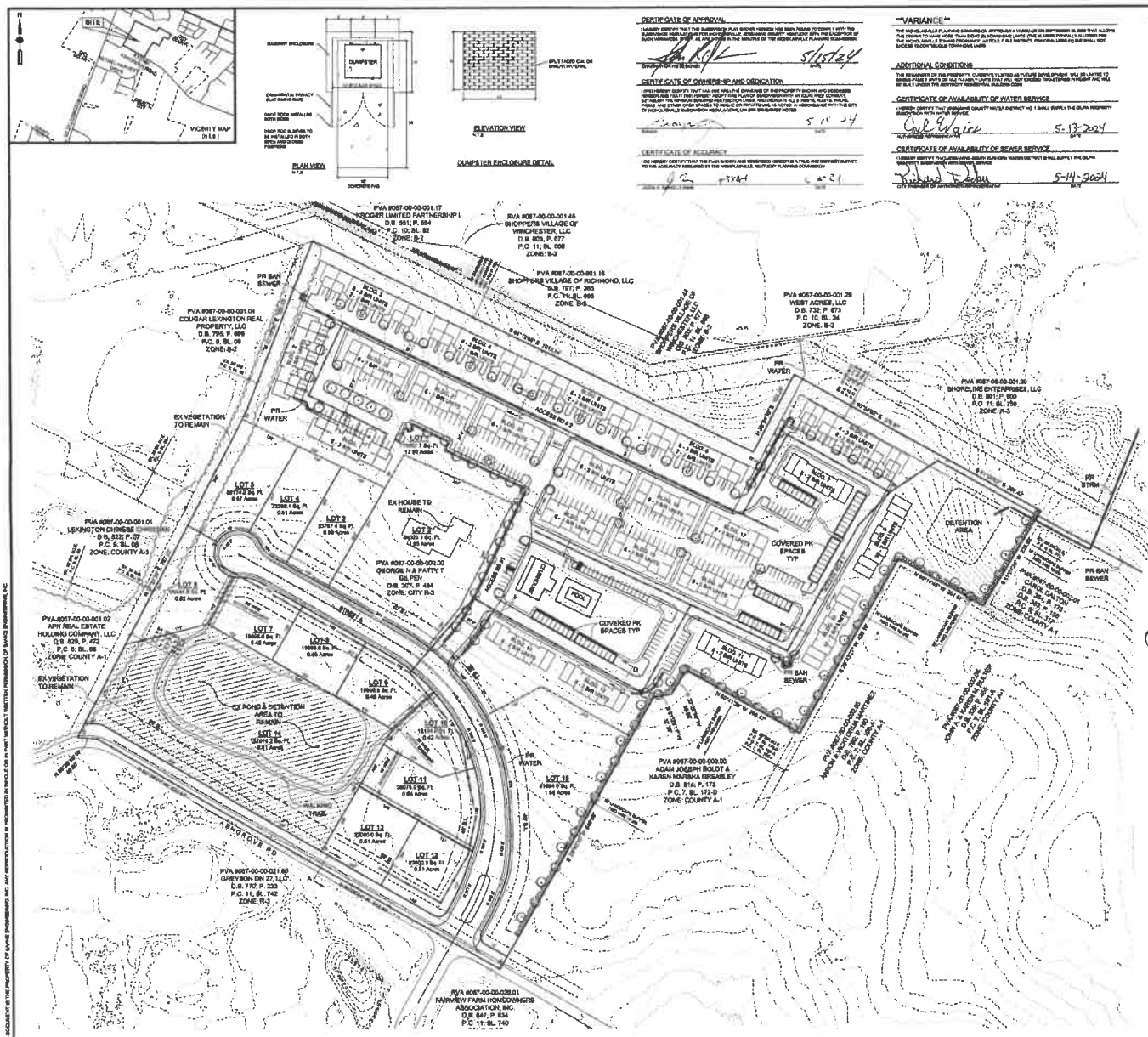
STANDARDS OF CONSTRUCTION
CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF NICHOLASVILLE AND NICHOLASVILLE PLANNING COMMISSION SPECIFICATIONS AND SUBDIVISION REGULATIONS.
WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH JCWD#1 SPECIFICATIONS.
STORM AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH JSEWD & LFUCG SPECIFICATIONS.
ALL WORK INSIDE KYTC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH KYTC STANDARDS.

GROUP EX - B&C



FINAL DEVELOPMENT PLAN & PRELIMINARY SUBDIVISION PLAT

SCALE: 1"=100'-0"

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Drawing 23153_PDP, Revised 12-6-23.dwg

CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RICHMOND, KENTUCKY, JESSAMINE COUNTY, KENTUCKY WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE RICHMOND-MADISON PLANNING COMMISSION.

5/15/24

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (WE) AM (ARE) THE OWNER(S) OF THIS PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, IN ACCORDANCE WITH THE CITY OF RICHMOND SUBDIVISION REGULATIONS, UNLESS STRIKEN OUT HEREON.

5-13-24

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS PLAN IS TRUE AND ACCURATE TO THE ACCURACY REQUIRED BY THE RICHMOND-MADISON PLANNING COMMISSION.

7-18-24 — 6-6-24

**VARIANCE(S)

THE RICHMOND-MADISON PLANNING COMMISSION APPROVED A VARIANCE ON SEPTEMBER 26, 2023 THAT ALLOWS THE PARKING TO HAVE MORE THAN EIGHT (8) CONSECUTIVE UNITS (THE MAXIMUM PHYSICALLY ALLOWED FOR THE RICHMOND-MADISON ZONING ORDINANCE, ARTICLE 7 R-3 DISTRICT, PARAGRAPH 1.0000 (2) (B)) BE SHALL NOT EXCEED 12 CONTIGUOUS TOWNHOME UNITS.

ADDITIONAL CONDITIONS

THE REMAINDER OF THE PROPERTY, CURRENTLY LISTED AS FUTURE SUBDIVISION, WILL BE LIMITED TO SINGLE-PHASE 3 UNITS OR MULTI-FAMILY UNITS THAT WILL NOT EXCEED TWO-STORIES IN HEIGHT AND WILL BE BUILT UNDER THE KENTUCKY RESIDENTIAL BUILDING CODE

CERTIFICATE OF AVAILABILITY OF WATER SERVICE

I HEREBY CERTIFY THAT JESSAMINE COUNTY WATER DISTRICT NO. 1 SHALL SUPPLY THE GILPIN PROPERTY SHOWN WITH WATER SERVICE.

5-13-2024

CERTIFICATE OF AVAILABILITY OF SEWER SERVICE

I HEREBY CERTIFY THAT JESSAMINE-SOUTH ELKHORN WATER DISTRICT IS WILL SUPPLY THE GILPIN PROPERTY SUBDIVISION WITH SEWER SERVICE.

5-14-2024

NOTES:

1. NO PART OF A PERMANENT SALE SHED INCLUDING DRIVEN, SPACES OR PARKING PURPOSES TO BE REPRESENTED UPON A LOT SHALL BE LOCATED LESS THAN TWO (2) FEET NEARER THE RIVER FLOOD PLAIN (SUBJECTIONS TO BE SHOWN ON FINAL RECORD PLAT OF APPROVAL)
2. NO FENCE SHALL BE LOCATED WITHIN THE STREET RIGHT-OF-WAY OR SUBMERGED.
3. NO FENCE SHALL BE ERECTED WITHOUT PRIOR APPROVAL OF THE RICHMOND-MADISON PLANNING COMMISSION.
4. ALL MONUMENTS ARE TO BE SET IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS IN KENTUCKY AND SECTION 21.1.00 OF THE RICHMOND-MADISON SUBDIVISION REGULATIONS.
5. ALL SUBDIVISION LOTS SHALL BE IN SIGHT WITH SECTION 21.1.00 OF THE SUBDIVISION REGULATIONS. BEFORE THE SUBMISSION FOR THE APPROVAL OF SUBSEQUENT PHASES OF THIS SUBDIVISION REGULATION OR ZONING ORDINANCES OF THE CITY OF RICHMOND, IT SHALL BE NECESSARY AND NOT NECESSARY BY THE ENFORCEMENT OF A CODE OF INSPECTIONS EFFECTIVE THERE LATE DRAINAGE AND UTILITY EASEMENTS SHOWN ARE PRELIMINARY ONLY AND ARE NOT SUBMITTED.
6. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL SIGNS ASSOCIATED WITH THE STREET LIGHT AND DROP SIGN INSTALLATION
7. THE LOCATIONS AND NUMBER OF STREET LIGHTS MAY VARY FROM THOSE SHOWN AS DETERMINED BY THE PLANNING COMMISSION.
8. ALL LOTS SHALL BE SEWERED.
9. ALL LOTS SHALL HAVE THE MINIMUM HEIGHT OF THAT ZONE AT BUILDING SETBACK LINE
10. NO SPRINGS, STREAMS, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE PRIOR TO APPROVAL OF AN SPECIFIC CONTROL PLAN IN ACCORDANCE WITH ARTICLE 6 OF THE RICHMOND-MADISON ZONING ORDINANCE
11. ALL SUBDIVISION LOTS SHALL BE IN SIGHT WITH SECTION 21.1.00 OF THE SUBDIVISION REGULATIONS
12. ALL BERM HEIGHTS IN CURVES AND ARC DISTANCES
13. ADDITIONAL FIRE HYDRANTS SHALL BE INSTALLED AT THE THE OWNER'S EXPENSE AND TO CITY SPECIFICATIONS IF ANY BUILDINGS ARE LOCATED MORE THAN 300 FEET FROM AN EXISTING FIRE HYDRANT. THE LOCATION OF ADDITIONAL FIRE HYDRANTS, IF ANY, SHALL BE DETERMINED BY THE CITY OF RICHMOND FIRE SPECIFICATIONS SHALL BE INSTALLED AS LOCATED HYDRANTS IN THE FIRE DEPARTMENT CONNECTION, AND SHALL BE LOCATED WITHIN 15 FEET OF A PAVED SURFACE PROPERLY MARKED OF ACCESS BY AND OF SUPPORTING A NEW HYDRANTS.
14. THE FLOOR ELEVATION OF THE FIRST FLOOR OF A STRUCTURE WITH SANITARY SEWER SERVICE SHALL BE ABOVE THE ELEVATION OF THE DESIGNED MANHOLE COVER NEAREST THE STRUCTURE. IF THE STRUCTURE IS NEAR A FLAT THE SERVICE CONNECTION FOR THE STRUCTURE FOR SANITARY SERVICE, THE BASEMENT FLOOR ELEVATION SHALL BE NOT LESS THAN 2 FEET ABOVE THE MANHOLE TOP AT THE FIRST DOWN STREAM MANHOLE. FIRST PIPE SERVICE CONNECTION FOR THE STRUCTURE, AND NO SERVICE CONNECTION WILL BE PERMITTED FOR A STRUCTURE LIKE ABOVE FLOOR ELEVATION IS LESS THAN 2 FEET ABOVE THE MANHOLE COVER. THE FLOOR ELEVATION OF THE FIRST FLOOR OF A STRUCTURE IN THE PROPERTY AND NEAR ALL OR SEASONAL SURFACE SUBMERGENCY OF THE DRAINAGE HERE THE ELEVATION OF THE DESIGNED FLOOD HAS THE DESIGNED DRAINAGE WITH TOTAL OF DRAINAGE AND FLOOD ELEVATION MET BELLS AND HAS EXECUTED A WAIVER AND RELEASE AND HOLD HARMLESS WITH THE CITY OF RICHMOND.
15. QUALIFIED SIGNS, LIGHTS AND LOADING AREAS SHALL BE IN COMPLIANCE WITH RICHMOND-MADISON ZONING ORDINANCE.
16. LANDSCAPING SHALL BE IN COMPLIANCE WITH RICHMOND-MADISON ZONING ORDINANCE ARTICLE 16
17. STREET LIGHTS & THE SIGNS OWNER SHALL ARE LOCATED ON PUBLIC STREET WITHIN OF THE SHALL BE INSTALLED IN DRIVEWAYS WITH CITY OF RICHMOND-MADISON SPECIFICATIONS
18. PRIVATE SIDEWALKS SHALL BE ON STREETS ON ON PUBLIC PROPERTY SHALL BE PERMITTED THAT WILL BE APPROVED BY THE RICHMOND-MADISON PLANNING COMMISSION AND RICHMOND-MADISON ZONING ORDINANCE
19. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED RICHMOND-MADISON SPECIFICATIONS
20. THIS PROPERTY IS NOT LOCATED IN THE THE 100 YEAR FLOOD PLAIN AS SHOWN ON PRELIMINARY RATE MAP NUMBER 21113C0005D, DATED DECEMBER 21, 2017
21. ALL DRAINAGE WITHIN THE PROPERTY SHALL BE ON THE THE THE DEVELOPMENT PLANS AND SUBMITTED TO THE CITY OF RICHMOND FOR APPROVAL.
22. LOTS THAT HAVE SANITARY WATER DISTRICTS SHALL BE NOT RECEIVED SHALL LOCATED ON THEIR WAY BE REQUIRED ON THE FINAL PLAT WILL A BUILDING PERMIT SHALL NOT BE ISSUED FOR THOSE LOTS UNTIL THE DEVELOPMENT FOR SHALL HAS BEEN BENEFITTED BY CITY OF RICHMOND.
23. PRIVATE SIDEWALKS
24. PROPOSED SIGNS, LIGHTS AND WORKS, FENCE SHALL BE SUBJECT TO PRE APPROVAL OF THE KENTUCKY DEPARTMENT OF TRANSPORTATION
25. PROPOSED STORM SEWERS SHOWN HEREON ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE.
26. FINAL LANDSCAPING SHALL BE SHOWN ON CONSTRUCTION DRAWINGS
27. THE BOUNDS OF THE FINAL PLAT SHOWN ON THIS PLAT ARE THE PLAT CURRENT 1 SLIDE 1910 AND PLAT CABINET 9 SLIDE 192 AS OF RECORDED IN THE JESSAMINE COUNTY COURTHOUSE
28. THE PROPERTY SHALL BE SUBJECT TO THE FOLLOWING STORM SHALL BE DONATED TO BE MADE ON STREETS ON ON PUBLIC PROPERTY SHALL BE PERMITTED THAT WILL BE APPROVED BY THE RICHMOND-MADISON PLANNING COMMISSION AND RICHMOND-MADISON ZONING ORDINANCE
29. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED RICHMOND-MADISON SPECIFICATIONS
30. THE DEVELOPER SHALL PREPARE A DEVELOPMENT PLAN IN ACCORDANCE WITH ALL REQUIREMENTS OF THE RICHMOND-MADISON PLANNING COMMISSION AND SUBMIT THE PLAN TO THE PLANNING COMMISSION FOR THE REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION
31. APPROVAL MUST BE OBTAINED BY THE RICHMOND-MADISON PLANNING COMMISSION AND RICHMOND-MADISON ZONING ORDINANCE FROM THE CENTRAL OHIO RIVER VALLEY
32. STORM DRAINAGE AND LOW WATER QUALITY PROVISIONS TO BE APPROVED BY THE CITY ENGINEER
33. ALL DRIVEWAYS ARE TO BE PAVED
34. ALL DRIVEWAYS ADJACENT TO THE RICHMOND-MADISON ROAD MUST OBTAIN AN ENCROACHMENT PERMIT FROM THE DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION
35. ALL PARKING SPACE SHALL BE PAVED AND SURFACED PER NORM
36. LOT 13 SHALL HAVE DRIVEWAY ACCESS TO STREET A ONLY
37. LOT 13 SHALL HAVE DRIVEWAY ACCESS TO RICHMOND-MADISON ROAD MUST HAVE A SIDE SHIFT GARAGE.
38. THERE IS BUT NOT ENOUGH A 50 FEET BY DRAINAGE AND UTILITY EASEMENT ON EITHER SIDE OF ALL LOTS ON THE PROPERTY AND ADJACENT TO THE ROAD
39. ADD YOU, MAINTAIN ALL EASEMENTS HERE AND STREET BLANDS.

DETENTION NOTE

DETENTION EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS IN SUCH A FASHION TO ENSURE THAT VEGETATIVE GROWTH SHALL NOT EXCEED THEIR UP SHORES (BTS) HEIGHT THAT ALL DRAINAGE WILL FLOW FREELY. THE OWNERS OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY OBSTRUCTIONS, DEBRIS, AND OTHER MATERIAL HAZARDS AND SUBJECTS TO EASEMENTS SHALL NOT BE PERMITTED. LANDSCAPING, IN EASEMENTS IS TERRIS FROM THE APPROVED PLANS, WITHOUT WRITTEN CONSENT OF THE RICHMOND-MADISON CITY COMMISSION THAT PROVIDES OTHERWISE SHALL PERFORM PERIODIC MAINTENANCE TO ENSURE THE HYDRAULIC FUNCTION OF THE PROJECTED. THE OWNER IS TO PERMIT REQUIRED ACCESS TO THE CITY OF RICHMOND-MADISON OR THEIR REPRESENTATIVES FOR INSPECTIONS OF THE DETENTION. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS SHALL ALLOW THE CITY OF RICHMOND-MADISON TO PERFORM THE WORK AND ASSESS THE COSTS TO THE PROPERTY OWNER. THE CITY OF RICHMOND-MADISON SHALL HAVE THE RIGHT TO ASSESS A LIEN ON THE PROPERTY TO ENSURE PAYMENT FOR MAINTENANCE EE LABOR AND MATERIALS PERFORMED ON THE SITE IN ORDER TO BRING SAME WITHIN THE APPROVED REQUIREMENTS.

CONSTRUCTION PLAN NOTE

1. THE INFRASTRUCTURE SHOWN ON THIS FINAL DEVELOPMENT PLAN IS CONCEPTUAL ONLY. SEE CONSTRUCTION PLANS FOR FINAL DESIGN OF INFRASTRUCTURE

TREE PLANTING SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME
~	ZELKOVA SERRATA	JAPANESE ZELKOVA
~	QUERCUS RUBRA	RED OAK
~	FOTHERGILLA GARDENII	DWARF FOTHERGILLA
~	TAXUS X MEDIA	YEW

1. PLANTING QUANTITIES WILL BE DETERMINED AT THE TIME OF CONSTRUCTION PLANS

LANDSCAPING NOTES:

1. ANY CHANGES IN PLANT SPECIES OR PLAN LOCATION SHALL BE MANDATORY WITHOUT SPECIFIC PRIOR APPROVAL OF THE RICHMOND PLANNING COMMISSION
2. ALL INTERIOR TREES WHICH ARE LOCATED IN SITE TRIANGLE SHALL HAVE A MINIMUM OF 8 (FIVE) FEET BLANKING BELOW THE LOWER BRANCHES
3. ALL LANDSCAPED AREAS NOT PLANTED WITH OTHER TYPES OF GROUNDCOVER SHALL BE SEEDED FESCUE OR BLUEGRASS, FERTILIZED, AND MULCHED OR SODDED (BLUEGRASS) IN ALL SITE AREAS HAVE VEGETATIVE COVER.

LEGEND

B.U.E. DRAINAGE AND UTILITY EASEMENT
B.L. BUILDING SETBACK LINE

PUBLIC UTILITIES

WATER: JCWD #1
SEWER: JSEWD
ELECTRIC: BLUE GRASS ENERGY
GAS: DELTA GAS
TELEPHONE: WINDSTREAM

CUL-DE-SAC DETAIL

TYPICAL PARKING SPACES

VAN ACCESSIBLE HANDICAP PARKING SPACE

SECTION "A-A"

SECTION "B-B"

SECTION "C-C"

SECTION "D-D"

PLANNING COMMISSION'S CERTIFICATION

I DO HEREBY CERTIFY THAT THE DETAIL DRAWING OF THIS PROPERTY WAS APPROVED BY THE RICHMOND-MADISON PLANNING COMMISSION AT A MEETING HELD ON 5/14/24

OWNER'S CERTIFICATION

I (WE) DO HEREBY CERTIFY THAT I (WE) ARE THE ONLY OWNER(S) OF THE PROPERTY SHOWN HEREON, DO FULLY AGREE TO ALL DRAWING AND TEXTUAL REPRESENTATION SHOWN HEREON, AND DO ADOPT THIS AS MY (OUR) DEVELOPMENT PLAN FOR THE PROPERTY. THIS CERTIFICATION IS SHOWN ON WORK, REGISTRATION OR RECORDING IN WILL

STATE OF KENTUCKY JASON D. BANKS 26061 LICENSED PROFESSIONAL ENGINEER

OWNER
GEORGE T. & PATTY N. GILPIN
1000 ASHGROVE ROAD, RICHMOND, KY 40508

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40208

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 199-A
1000 ASHGROVE ROAD, RICHMOND, KY 40508

AMENDED FINAL DEVELOPMENT PLAN & PRELIMINARY SUBDIVISION PLAT

BANKS
CIVIL ENGINEERING SOLUTIONS RICHMOND, KY | LEXINGTON, KY | LOUISVILLE, KY | BANKSENGINEERING.NET

DATE	REVISED	1	2	3	4	5
DEC., 2023						

SHEET 02
JOB 23153
DRAWN CBS/CWS
CHECKED JDB

SURVEY NOTE:

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS NOT INTENDED FOR LAND TRANSFER. IT DOES NOT MEET THE MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THE SOLE PURPOSE OF THIS SHEET IS FOR USE IN OBTAINING A BUILDING PERMIT.

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY 811 BEFORE YOU DIG" (TOLL FREE PHONE NO. 1-800-752-0007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLE, ELECTRIC WIRES, GAS, AND WATER LINES). WHEN CONTACTING THE "KU.L" CALL CENTER, PLEASE STATE THAT THE WORK TO BE DONE IS FOR A PROPOSED NICHOLASVILLE SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THIS PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

The New Look For Digging Safely in Kentucky
Kentucky 811
Call 811 Before You Dig

PARKING LOT NOTES:

1. PARKING STALL MUST BE STRIPED WITH A 4" CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR WHITE ON ASPHALT PARKING LOT).
2. HANDICAP PARKING SPACES TO BE DESIGNATED BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING STALLS REQUIRE THE INSTALLATION OF PROPER SIGNAGE.
3. ALL WHEEL STOPS AND CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN IN THIS PLAN SET.

SITE PLAN NOTES:

1. REFER TO THE STANDARDS OF CONSTRUCTION NOTE ON THE COVER SHEET FOR FOR MATERIALS, INSTALLATION METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS
2. CONTRACTOR SHALL OBTAIN A COPY OF ALL REPORTS, INCLUDING GEOTECHNICAL, FROM THE DEVELOPER PRIOR TO BIDDING AND CONSTRUCTION.
3. CONTRACTOR TO FIELD VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING STORM/SANITARY/GAS/WATER LINES PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, STRUCTURES, FOUNDATIONS, AND FOOTERS NECESSARY TO DEVELOP THE SITE UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
5. CONTRACTOR TO VERIFY ALL BUILDING DIMENSIONS AND SANITARY INFORMATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
6. ALL DIMENSIONS SHOWN IN PAVED AREAS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL DOORWAYS SHOWN ARE AT THE FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
7. ALL PAVEMENT SHALL BE OUTLINED WITH CONCRETE CURBS UNLESS OTHERWISE NOTED. DOUBLE LINE DENOTES CURB.
8. ALL RADII ARE FIVE (5) FEET UNLESS OTHERWISE NOTED AT EDGE OF PAVEMENT.
9. WHEN MATCHING EXISTING BITUMINOUS ASPHALT PAVEMENTS, A TWO (2) INCH DEPTH SAW CUT SHALL BE MADE A MINIMUM OF TWELVE (12) INCHES FROM THE EDGE OR TO SOUND MATERIAL AND THE ASPHALT MATERIALS SHALL BE PLACED TO FORM A WATERTIGHT JOINT.
10. CONCRETE PAVING NOTE:
    A. SCORING PATTERN OF SIDEWALKS TO BE 6' O.C. EXPANSION JOINTS ARE TO BE 100' O.C.
    B. SCORING PATTERN IS TO BE PERPENDICULAR/PARALLEL TO PROPOSED BUILDING.
    C. EXPANSION JOINT MATERIAL (SELF LEVELING JOINT SEALANT) TO BE ADJACENT TO BUILDING AT ALL AREAS OF CONCRETE CONSTRUCTION, ALL COLD JOINTS AND ALONG ALL CURBS.
11. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACCEPTABLE "ADA" REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTED PARKING STRIPES, AND THAT WHICH IS REQUIRED FOR HANDICAP PARKING.
13. ALL ARROWS, TRACKING AND STOP BARS SHALL BE PAINTED.
14. CONTRACTOR TO COORDINATE FINAL DESIGN OF SIDEWALK STEPS, WALKWAYS, AND ACCESSIBLE RAMPS WITH ARCHITECT/OWNER.
15. ALL DUMPSTER PADS TO BE SCREENED.
16. COMPATIBLE UTILITY LINES (ELECTRIC, PHONE, CABLE) SHALL BE PLACED IN A COMMON TRENCH UNLESS OTHERWISE REQUIRED BY APPROPRIATE AGENCIES. SANITARY SEWER LINES ARE NOT COMPATIBLE WITH ANY OTHER UTILITY LINE AND SHALL BE SEPARATED BY A MINIMUM OF SIX (6) FEET.
17. ALL ACCESSIBLE ROUTES SHALL HAVE A 5.00% MAXIMUM LONGITUDINAL SLOPE WITH A 2.00% MAXIMUM CROSS SLOPE.
18. ALL ACCESSIBLE PARKING STALLS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.00% CROSS SLOPE IN ANY DIRECTION.
19. ALL ACCESSIBLE RAMPS SHALL HAVE A YELLOW TACTILE WARNING SURFACE (ARMOR-TILE, OR APPROVED EQUAL) PER "ADA" REQUIREMENTS FOR HANDICAP ACCESSIBILITY.
20. THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES (B.U.D.), INCLUDING NON-MEMBER UTILITIES, PRIOR TO ANY CONSTRUCTION.
21. THE UTILITY LOCATION INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO ANY CONSTRUCTION.
22. EXISTING UTILITIES ARE LOCATED USING THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES PRIOR TO DIGGING. DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
23. ALL SIDEWALKS ARE FIVE (5) FEET, WITH CURB WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
24. THESE PLANS ARE FOR SITE/GRADING/DRAINAGE/PAVING. ALL BUILDINGS/STRUCTURES/WALLS ARE BY OTHERS.
25. CONSTRUCTION OF STORM AND SANITARY MAINS IN AN EMBANKMENT AREA SHALL BE LAID ON EMBANKMENT EVIDENCED BY A DENSITY REPORT OF MINIMUM 95% PROCTOR DENSITY FURNISHED BY A GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION.

PAVEMENT NOTES:

1. THE EDGE OF EXISTING PAVEMENT SHALL, WHERE APPLICABLE, BE SAW CUT, ESTABLISHING STRAIGHT, UNDAMAGED EDGES AGAINST WHICH NEW PAVEMENT IS TO BE CONSTRUCTED.
2. ALL NEW PAVEMENT SHALL BE FLUSH WITH ADJACENT PAVEMENT SURFACES.
3. TACK COAT SHALL BE APPLIED AT A RATE OF 0.1 GALLONS PER SQUARE YARD WITH THE INSTALLATION OF SURFACE ASPHALT WHEN FINAL PAVING HAS BEEN DELAYED FROM BASE INSTALLATION. TACK COAT THE EDGE OF THE EXISTING ASPHALT TO ENSURE ADHESION BETWEEN THE PROPOSED AND EXISTING ASPHALT.

GEOTECHNICAL/PAVEMENT SECTION NOTES:

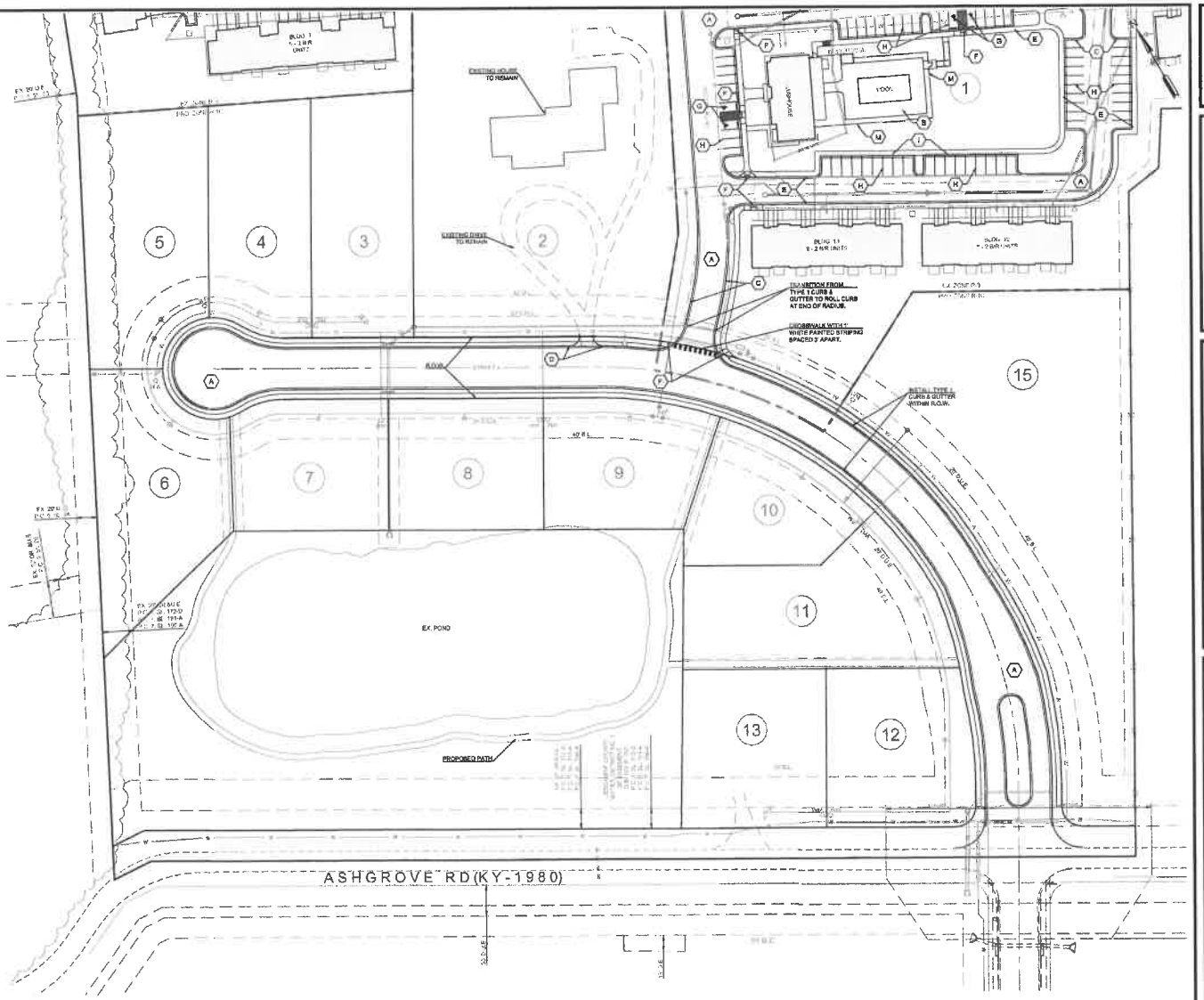
1. PRIOR TO CONSTRUCTION, THE DEVELOPER SHALL OBTAIN SITE-SPECIFIC GEOTECHNICAL RECOMMENDATIONS FOR THIS DEVELOPMENT.
2. PAVEMENT SECTIONS SHALL BE ISSUED BY GEOTECHNICAL ENGINEER AFTER TESTING IS FINISHED.
3. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT FROM THE DEVELOPER PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION MUST COMPLY WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT.
5. ALL PAVEMENT DATA AND PAVEMENT DETAILS ARE FOR BIDDING PURPOSES ONLY. REFER TO THE GEOTECHNICAL REPORT FOR DETAILED INFORMATION.
6. PAVEMENT SECTIONS (IF SHOWN) ARE MEANT SOLELY TO CONVEY THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT OF A CONFLICT, THE GEOTECHNICAL REPORT TAKES PRECEDENCE OVER THESE PLANS.
7. ALL SUBGRADES AND PAVEMENT DESIGN SHALL BE COMPACTED TO THE RECOMMENDATION IN THE GEOTECHNICAL REPORT.
8. DENSE GRADED AGGREGATE BASE SHALL BE COMPACTED IN SEPARATE COURSES.
9. PAVEMENT SECTIONS SHALL ADHERE TO GEOTECHNICAL RECOMMENDATIONS AND LOCAL DESIGN REQUIREMENTS, WHICHEVER IS GREATER.
10. HEAVY DUTY PAVEMENT SHALL BE INSTALLED IN ALL DRIVE ISLES. LIGHT DUTY PAVEMENT IS ACCEPTABLE ONLY IN PARKING STALLS.

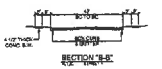
SITE PLAN KEY: REFER TO SITE DETAILS SHEETS

- (A) ASPHALT PAVEMENT
- (B) CONCRETE PAVEMENT
- (C) CONCRETE ROLL CURB
- (D) ENTRANCE CURB CUT
- (E) CONCRETE WALK WITH CURB WHERE APPLICABLE
- (F) ACCESSIBLE CURB RAMP
- (G) HANDICAP SYMBOL AND SIGN
- (H) PARKING LOT STRIPING (SEE PARKING LOT NOTES)
- (I) COVERED PARKING-REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- (J) DUMPSTER PAD & SCREEN WALL - REFER TO ARCHITECTURAL PLAN FOR DETAILS.
- (K) RETAINING WALL WITH HANDRAIL-DESIGN BY OTHERS. REFER TO GRADING PLAN FOR ELEVATIONS.
- (L) STEPS TO BE ADDED AS NEEDED DURING CONSTRUCTION, REFER TO GRADING PLAN AND SITE DETAILS PLAN.
- (M) ORNAMENTAL FENCE

HATCH LEGEND

- CONCRETE PAVEMENT





GRAPHIC SCALE
1 inch = 50 feet

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Drawing: 23153_02_site improvements Plan.dwg

STATE OF KENTUCKY
AUSTIN D. SWINEY
36806
LICENSED PROFESSIONAL ENGINEER
09/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299
DEVELOPER
MARIAN DEVELOPMENT
1901 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195-A
10350 ASHGROVE ROAD, NICHOLASVILLE, KY 40356
SITE IMPROVEMENTS PLAN

BANKS
1711 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.3000 | BANKSENGINEERING.NET

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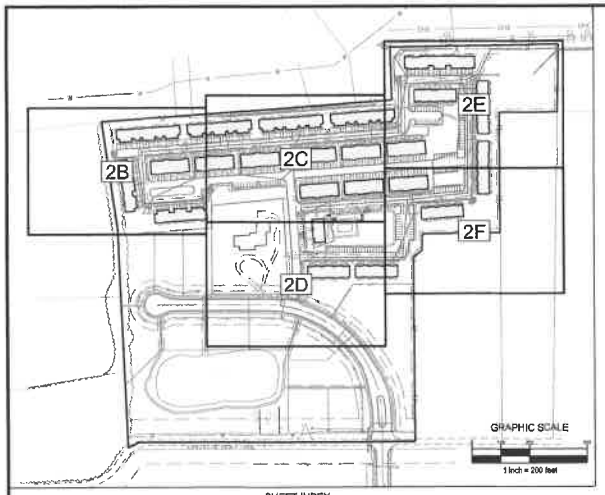

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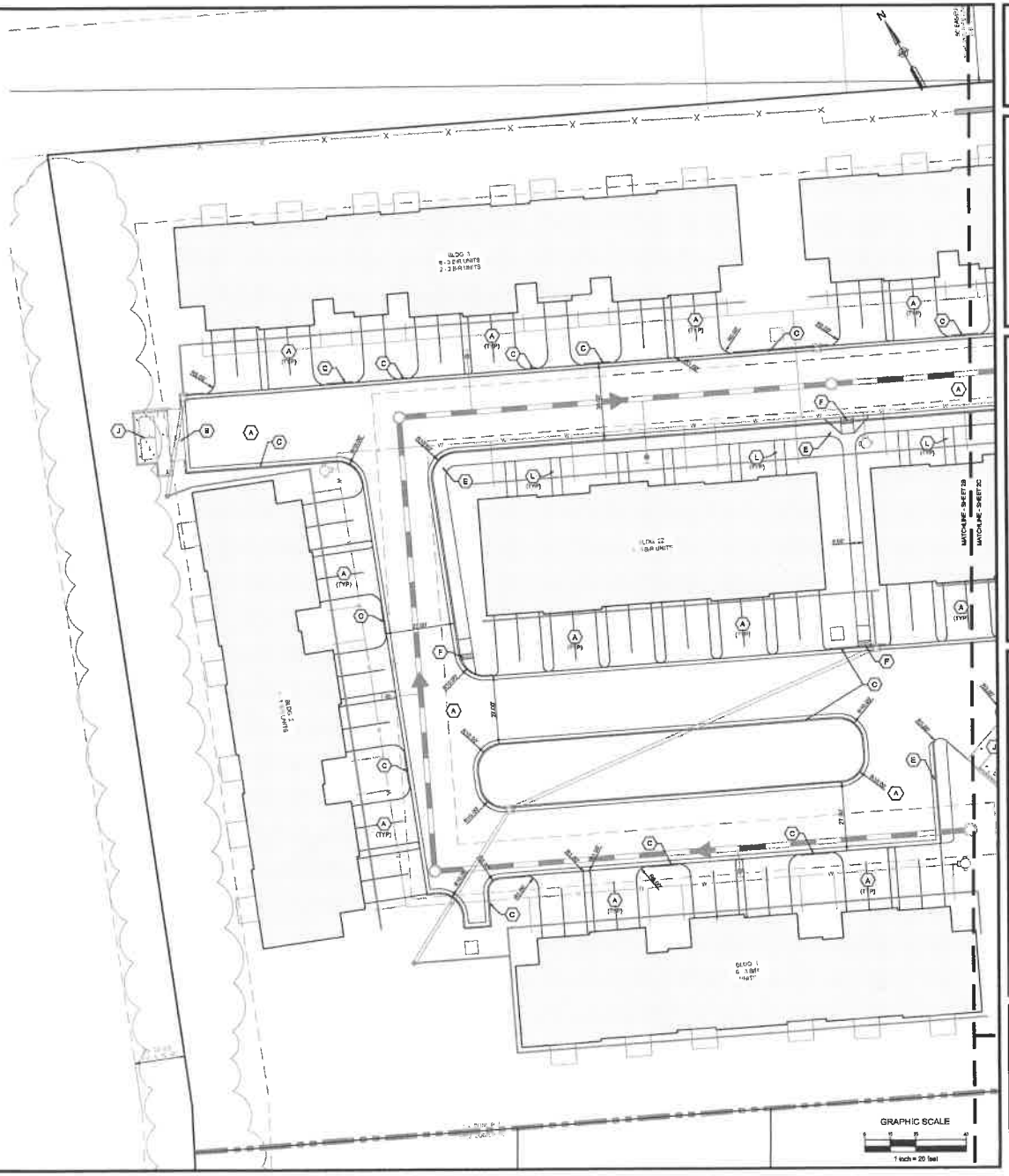

HATCH LEGEND

CONCRETE PAVEMENT

SITE PLAN KEY: REFER TO SITE DETAILS SHEETS

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- (L) STEPS TO BE ADDED AS NEEDED DURING CONSTRUCTION. REFER TO GRADING PLAN AND SITE DETAILS PLAN.
- (M) ORNAMENTAL FENCE

STATE OF KENTUCKY
AUSTIN D. SWINEY
35969
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1101 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 195-A
1950 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SITE IMPROVEMENTS PLAN

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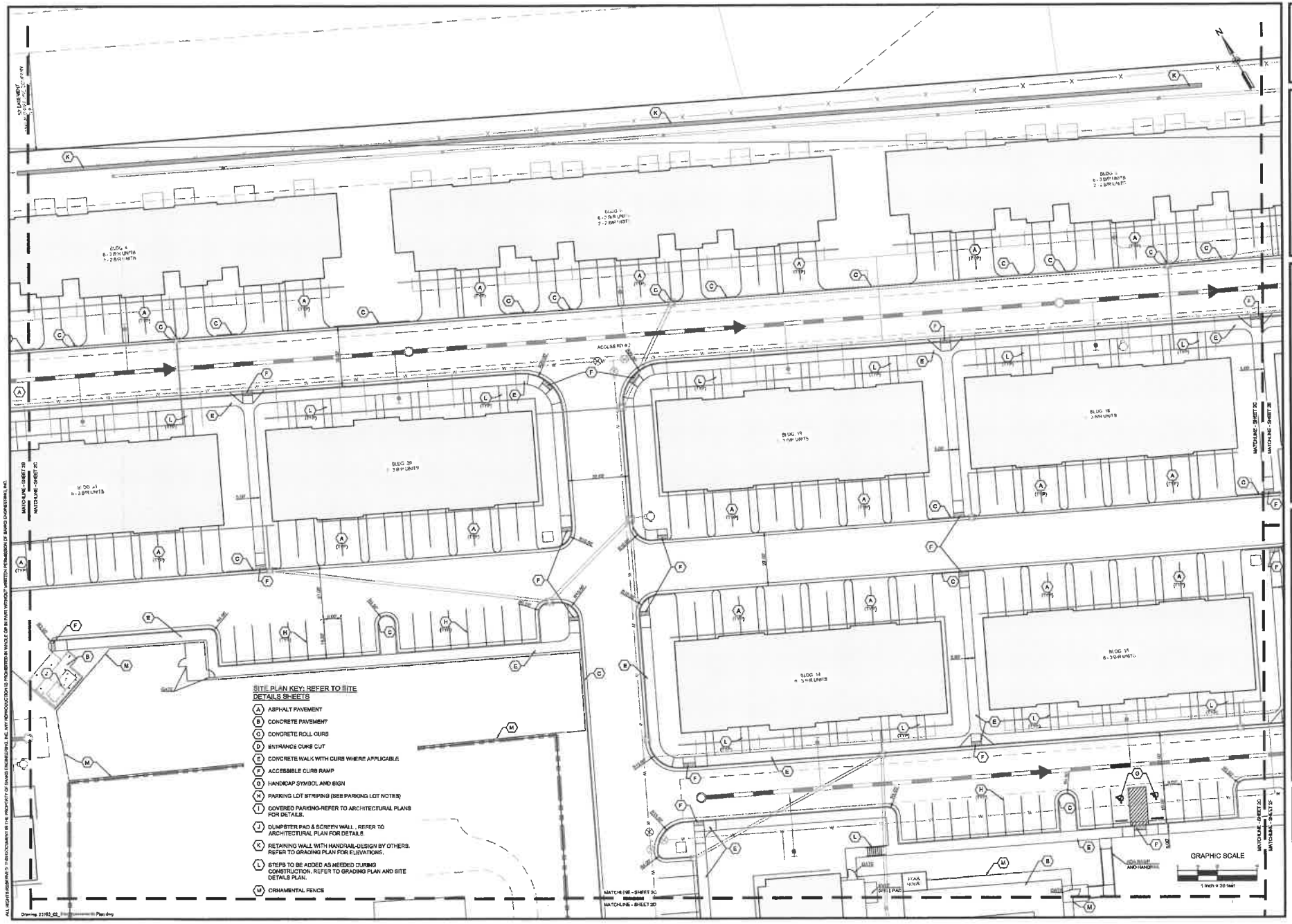

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STATE OF KENTUCKY
AUSTIN D. SWINEY
36866
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET J, SLIDE 196-A
1550 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SITE IMPROVEMENTS PLAN

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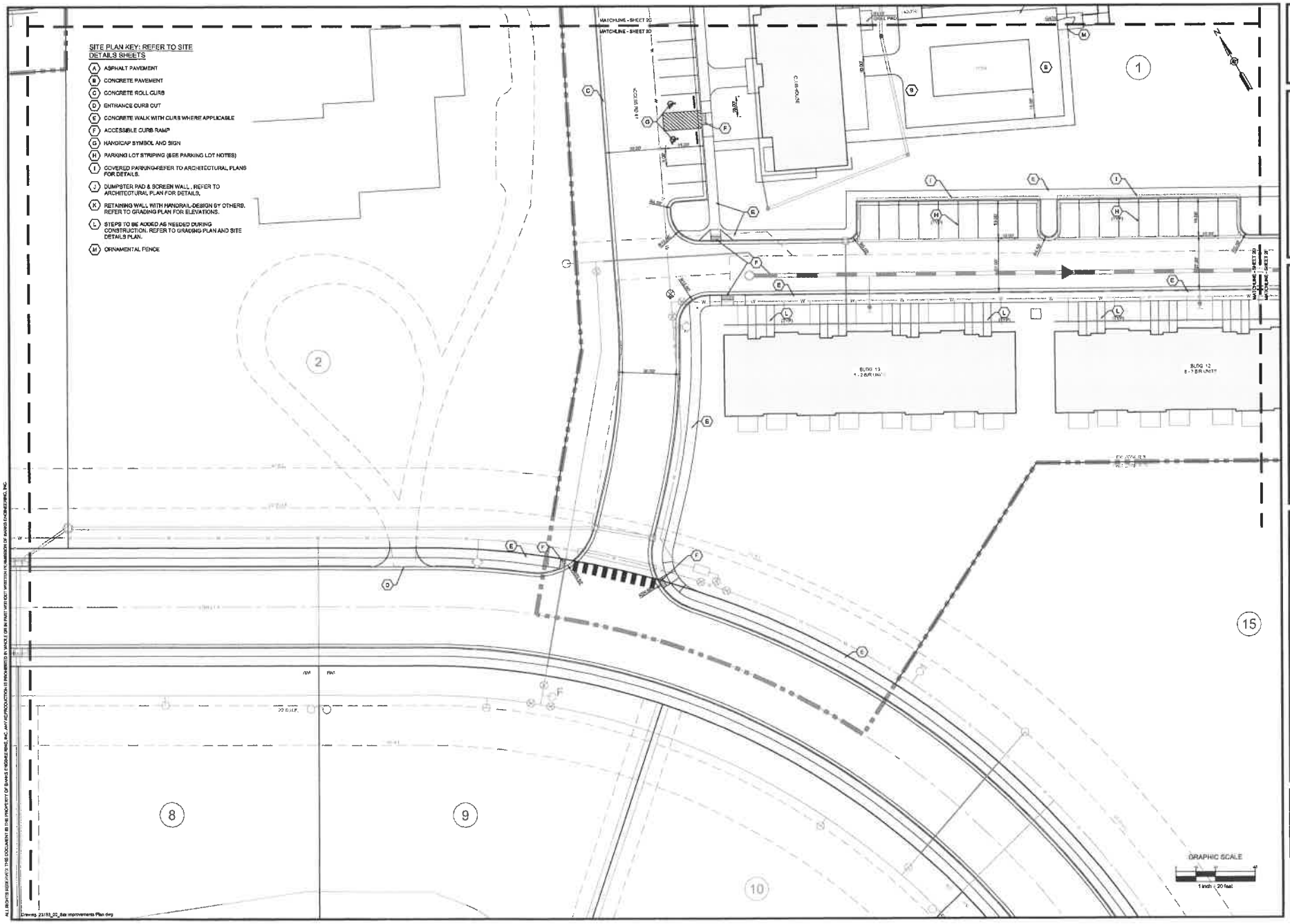

STATE OF KENTUCKY
AUSTIN D. SWINEY
30500
LICENSED PROFESSIONAL ENGINEER
09/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299
DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40205

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 156-A
12050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356
SITE IMPROVEMENTS PLAN

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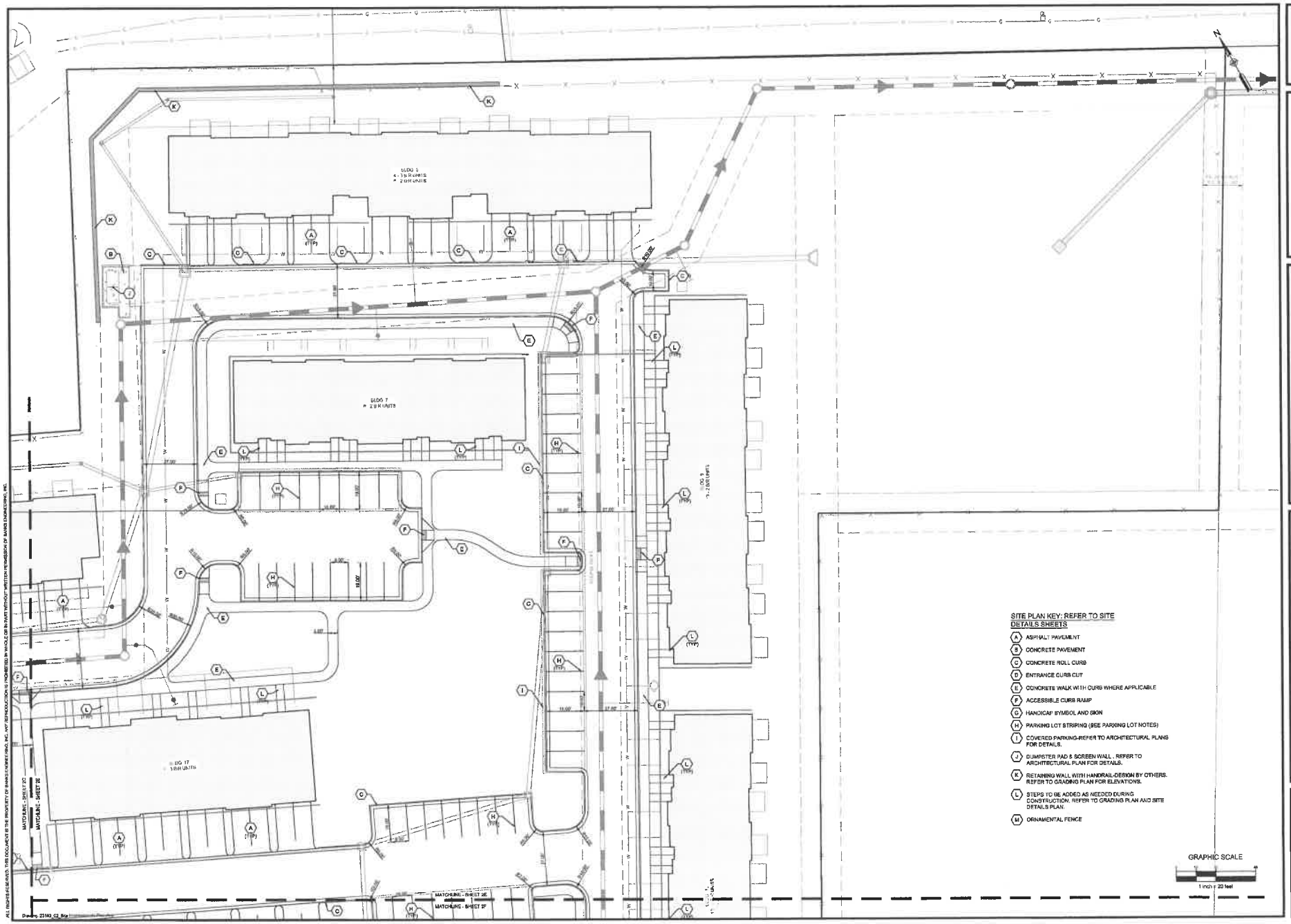

SITE PLAN KEY: REFER TO SITE DETAILS SHEETS

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- (B) CONCRETE PAVEMENT
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- (L) STEPS TO BE ADDED AS NEEDED DURING CONSTRUCTION. REFER TO GRADING PLAN AND SITE DETAILS PLAN.
- (M) ORNAMENTAL FENCE

STATE OF KENTUCKY
AUSTIN D. SWINEY
36504
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT HA
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 198-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SITE IMPROVEMENTS PLAN

BANKS
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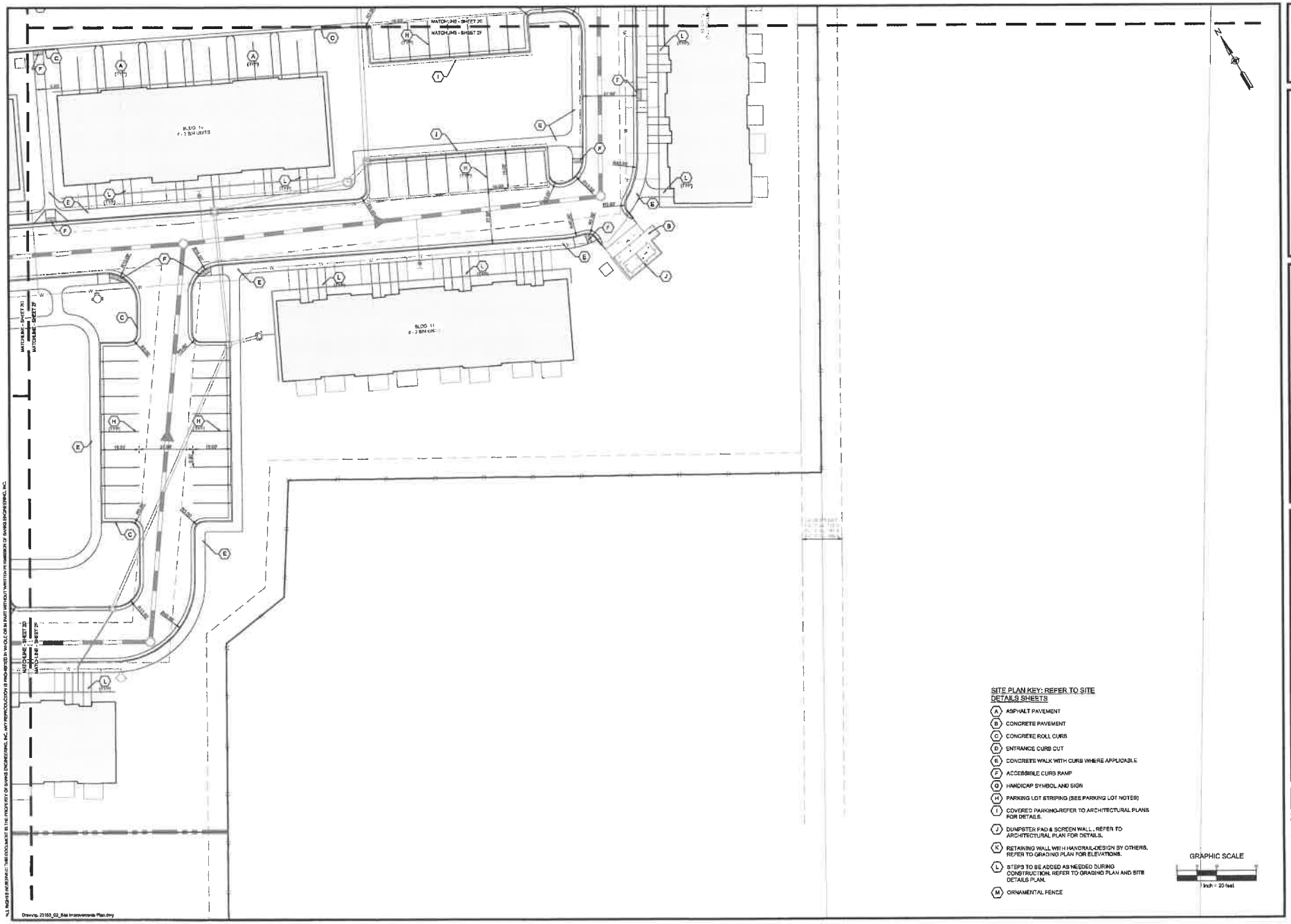

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- (M) ORNAMENTAL FENCE

GRAPHIC SCALE

1 inch = 20 feet

STATE OF KENTUCKY
AUSTIN D. SWINEY
36608
LICENSED PROFESSIONAL ENGINEER
8/23/2024

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1801 PAYNE STREET, LOUISVILLE, KY 40205

TRACT 1-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SITE IMPROVEMENTS PLAN

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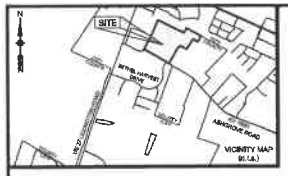


The New Look For Digging Safety in Kentucky
Kentucky 811
Call 811 Before You Dig

KENTUCKY UNDERGROUND PROTECTION INC.
Kentucky state law requires contractors to call two business days prior to digging. Call 811 or 1-800-752-6007 for a locator request. Any organizations that are not a part of KUP Inc. shall be contacted individually.

SITE LEGEND

SYMBOLS	DESCRIPTION
	PROPERTY LINE
	EASEMENT
	EXISTING TREE LINE
	EXISTING CONTOUR MINOR
965	EXISTING CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
965	PROPOSED CONTOUR MAJOR
BM	BENCHMARK
965.00	EXISTING SPOT ELEVATION
965.00	PROPOSED SPOT ELEVATION
1.00%	GRADIENT/SLOPE (PERCENT)
DI	DROP BOX INLET
MH	MANHOLE
HW	HEADWALL
SAN	SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LATERAL
W	WATER LINE
FH	FIRE HYDRANT
WV	WATER VALVE
WM	WATER METER
OHU	OVERHEAD UTILITIES
UE	UNDERGROUND ELECTRIC UTILITIES
UP	UTILITY POLE
	GUY WIRE
LP	LIGHT POLE
G	GAS LINE
GV	EXISTING GAS VALVE
SF	SILT FENCE
	HANDICAP PARKING
TP	TRAFFIC POLE

NOTE: EXISTING UTILITIES WILL BE SHADED ON FOLLOWING PLAN SHEETS.

DEMOLITION NOTES:

1. REMOVE EXISTING BUILDING AND FOUNDATION - BACKFILL WITH APPROVED ENGINEERED FILL.
2. SAWCUT AND REMOVE EXISTING PAVEMENT AND BASE - DO NOT UNDERMINE EXISTING PAVEMENT TO REMAIN.
3. SAWCUT EDGE OF EXISTING PAVEMENT FOR NEW PAVEMENT TO ADJOIN TO.
4. REMOVE/MODIFY EXISTING FENCE AS NEEDED.
5. EXISTING SEPTIC TANK TO BE LOCATED AND REMOVED, OR ABANDONED AND FILLED WITH CONCRETE. COORDINATE WITH HEALTH DEPARTMENT.

SITE KEY:

- (A) EXISTING HOUSE TO REMAIN.
- (B) EXISTING PAVEMENT TO REMAIN.
- (C) EXISTING FENCE TO REMAIN.

SITE STATISTICS

TOTAL AREA: ..... 33.47 ACRES
ZONE:
(EXISTING): ..... R-3 CITY
(PROPOSED): ..... R-1C & R-3 CITY

ZONE R-3 REQUIREMENTS

MINIMUM LOT SIZE: ..... *9,000 S.F.
MINIMUM LOT WIDTH: ..... 80 FT.
MINIMUM FRONT YARD: ..... *25 FT.
MINIMUM EACH SIDE YARD: ..... 8 FT.
MINIMUM REAR YARD: ..... 25 FT.
MAXIMUM LOT COVERAGE: 40%
MAXIMUM HEIGHT OF BLDG: ..... *35 FT.
* SEE ZONING REGULATIONS.

ZONE R-1C REQUIREMENTS

MINIMUM LOT SIZE: ..... 18,000 S.F.
MINIMUM LOT WIDTH: ..... 80 FT.
MINIMUM FRONT YARD: ..... *40 FT.
MINIMUM EACH SIDE YARD: ..... 10 FT.
MINIMUM REAR YARD: ..... 25 FT.
MAXIMUM LOT COVERAGE: 35%
MAXIMUM HEIGHT OF BUILDING: ..... 35 FT.
* SEE ZONING REGULATIONS.

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, KENTUCKY 811 SAFELY (K.O.B.) (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THIS PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

UNDERGROUND UTILITIES

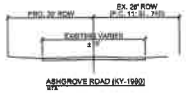
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

F.E.M.A. FLOOD HAZARD AREA

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FEMA FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL 21112C0060D, DATED DECEMBER 21, 2017.

SURVEY NOTE:

THESE PLANS DO NOT CONSTITUTE A BOUNDARY SURVEY AND ARE NOT INTENDED FOR LAND TRANSFER. THEY DO NOT MEET THE MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THE SOLE PURPOSE OF THIS SHEET IS FOR USE IN OBTAINING A BUILDING PERMIT.



BENCHMARK

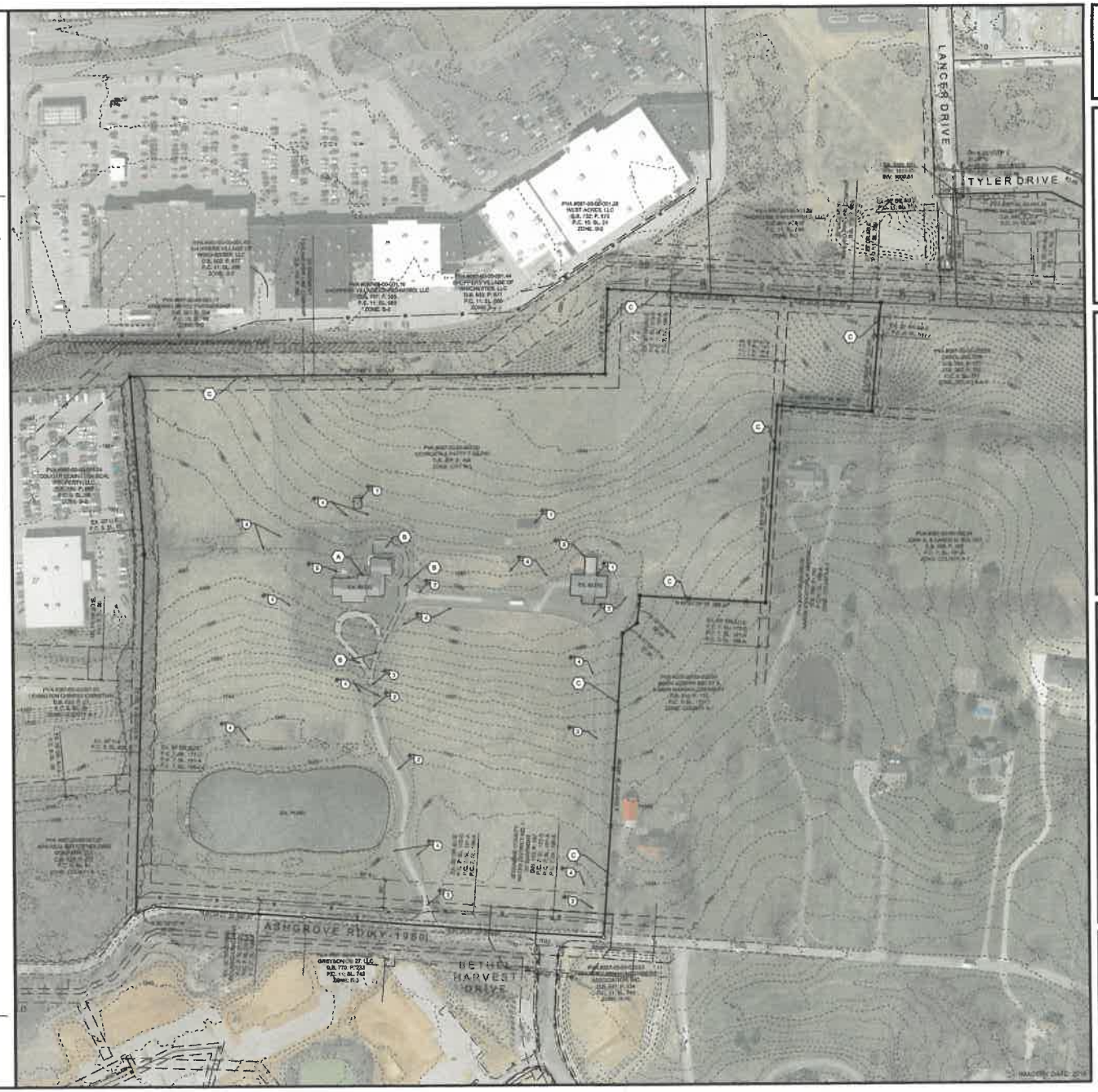
NOTE: ALL ELEVATIONS ARE BASED ON KENTUCKY SINGLE ZONE STATE PLANE COORDINATE SYSTEM DERIVED FROM A GPS SURVEY.

EXISTING CONDITIONS PLAN

SCALE: 1"=100'-0"

NORTH

0 50 100 200



STATE OF KENTUCKY
AUSTIN D SWINEY
36606
LICENSED PROFESSIONAL ENGINEER
6/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 196-A
1560 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

EXISTING CONDITIONS & DEMO PLAN

BANKS
1711 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.6300 | BANKSENGINEERING.NET

SHEET	DATE	REVISED
03	06/23/2024	1
		2
		3
		4
		5

JOB 23153
DRAWN ADS/KJH
CHECKED JCB

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Drawing 23153_03_Building Core/None.dwg

STREET NOTES FOR NICHOLASVILLE KENTUCKY:

1. SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GENERAL SPECIFICATIONS. MINIMUM SUBGRADE CROWN SHALL BE 1/4 INCH PER FOOT. CROWN SHALL BE CHECKED AND COMPACTION TESTS AT SPECIFIED INTERVALS SHALL BE SUBMITTED TO THE CITY PRIOR TO PLACING THE FIRST LIFT OF STONE.
2. STANDARD BOX CURB AND GUTTER SHALL CONFORM TO THE DETAILS IN THE GENERAL SPECIFICATIONS, AND SHALL BE CONSTRUCTED ON AT LEAST 4 INCHES OF COMPACTED DENSE GRADED CRUSHED LIMESTONE. CONSTRUCTION JOINTS SHALL BE INSTALLED AT 100 FOOT INTERVALS, AND CONTROL JOINTS SHALL BE SAWED TRANSVERSELY AT 25 FOOT INTERVALS TO A MINIMUM DEPTH OF 2 INCHES. HANDICAP RAMPS ARE REQUIRED AT ALL STREET INTERSECTIONS. BACKFILL SHALL BE PLACED BEHIND THE CURB PRIOR TO PLACING DENSE GRADED AGGREGATE BETWEEN THE CURBS.
3. THE STREET BASE SHALL CONSIST OF THE FOLLOWING:

   A.) THE FIRST LIFT OF STONE SHALL CONSIST OF 4 INCHES OF COMPACTED DENSE GRADED AGGREGATE UNLESS OTHERWISE NOTED. COMPACTION TESTS AT SPECIFIED INTERVALS SHALL BE PERFORMED, AND WRITTEN TEST RESULTS SUBMITTED TO THE CITY PRIOR TO PLACING THE SECOND LIFT OF STONE.

   B.) THE SECOND LIFT OF STONE SHALL CONSIST OF 4 INCHES OF COMPACTED DENSE GRADED AGGREGATE UNLESS OTHERWISE NOTED. CROWN SHALL BE 1/4 INCH PER FOOT. THE CROWN SHALL BE CHECKED, AND COMPACTION TESTS AT SPECIFIED INTERVALS SHALL BE PERFORMED. WRITTEN TEST RESULTS SHALL BE SUBMITTED TO THE CITY PRIOR TO PLACING SURFACE MATERIAL.
4. SURFACING SHALL CONSIST OF ONE 2 INCH LAYER COMPACTED DEPTH OF CLASS I BITUMINOUS BINDER AND ONE 1-1/2 INCH LAYER COMPACTED DEPTH OF CLASS I BITUMINOUS SURFACE FOR A TOTAL COMPACTED THICKNESS OF 3-1/2 INCHES, UNLESS OTHERWISE NOTED.
5. SIDEWALKS SHALL BE AT LEAST 4-1/2 INCHES THICK, 5 FEET WIDE, WITH EXPANSION JOINTS AT 100 FOOT INTERVALS, AND SCRIBED EVERY 4 TO 6 FEET. SIDEWALKS SHALL BE PLACED AS SHOWN ON THE APPROVED CONSTRUCTION PLANS, AND SHALL EXTEND TO THE CURB (HANDICAP RAMPS) AT ALL STREET INTERSECTIONS.
6. THE AREA BETWEEN THE SIDEWALK AND CURB SHALL BE BROUGHT TO A UNIFORM GRADE WITH TOPSOIL. FINAL GRADE SHALL NOT BE LOWER THAN A LINE BETWEEN THE TOP OF THE CURB AND THE SIDEWALK.

GENERAL NOTES FOR NICHOLASVILLE KENTUCKY:

1. REFER TO THE STANDARDS OF CONSTRUCTION NOTE ON THE COVER SHEET FOR FOR MATERIALS, INSTALLATION METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS.
2. ANY CHANGES FROM THE APPROVED PLANS SHALL BE SUBMITTED IN WRITING TO AND APPROVED BY THE NICHOLASVILLE PLANNING COMMISSION PRIOR TO THE WORK BEING DONE.

INFRASTRUCTURE FIELD ADJUSTMENT NOTE

INLET AND RIM ELEVATIONS FOR SANITARY AND STORM SEWER STRUCTURES SHOWN HEREON ARE BASED ON APPLIED TYPICAL STREET SECTIONS AND LOT GRADING. CONTRACTOR TO MAKE NECESSARY FIELD ADJUSTMENTS TO THESE STRUCTURES TO MATCH CONSTRUCTED FIELD CONDITIONS AT NO ADDITIONAL COST TO THE OWNER OR THE ENGINEER. FIELD ADJUSTMENTS TO WATERLINE APPURTENANCES SHALL ALSO BE REQUIRED TO MATCH CONSTRUCTED FIELD CONDITIONS.

ADA RAMP NOTE

ALL ADA RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.

LOT 12 & 13 ACCESS NOTE:

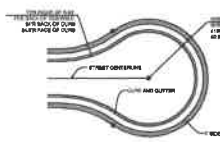
LOT 13 SHALL BE ACCESSED ONLY FROM THE INTERNAL STREET.
THE ACCESS FOR LOT 13 SHALL BE FROM KY-1980. HOWEVER, IF LOT 12 & 13 ARE CONSOLIDATED, ACCESS SHALL BE ONLY FROM THE INTERNAL STREET.

PAVEMENT SECTION NOTE:

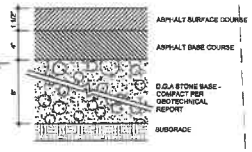
PAVEMENT SECTIONS SHOWN HEREON ARE THE MINIMUM ALLOWABLE FOR TYPICAL APPLICATIONS. CONTRACTOR MUST REVIEW THE GEOTECHNICAL REPORT PRIOR TO BEGINNING CONSTRUCTION AND ALL WORK SHALL ADHERE TO THE RECOMMENDATIONS PROVIDED THEREIN. IN THE EVENT OF CONFLICTING INFORMATION, THE GEOTECHNICAL REPORT TAKES PRECEDENCE OVER THESE PLANS.

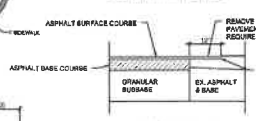
PLAN KEY

(A) 30" X 30" MUTCD STOP SIGN ON BREAKAWAY POST.
(B) END CURB AT R.O.W.



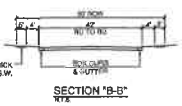
CUL-DE-SAC DETAIL
N.T.S.



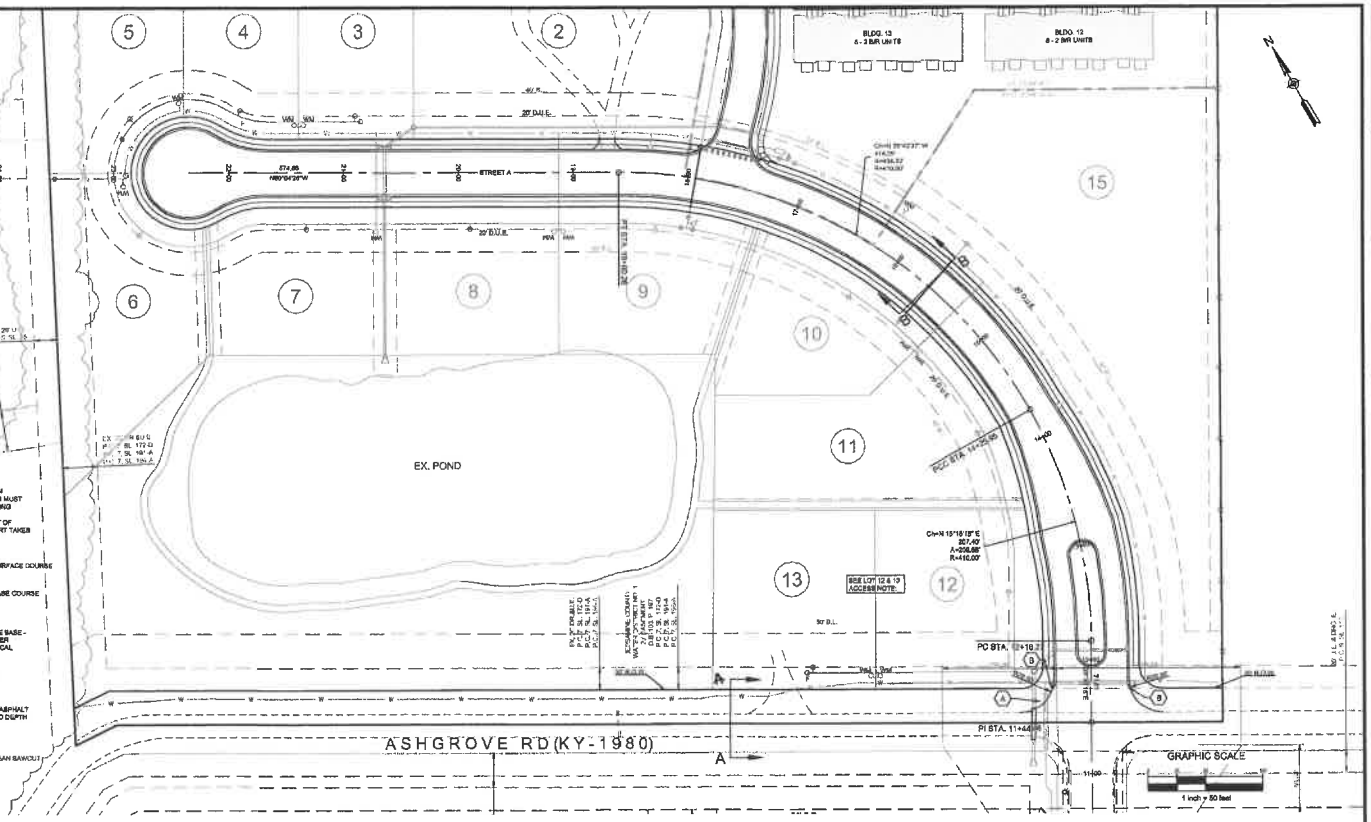


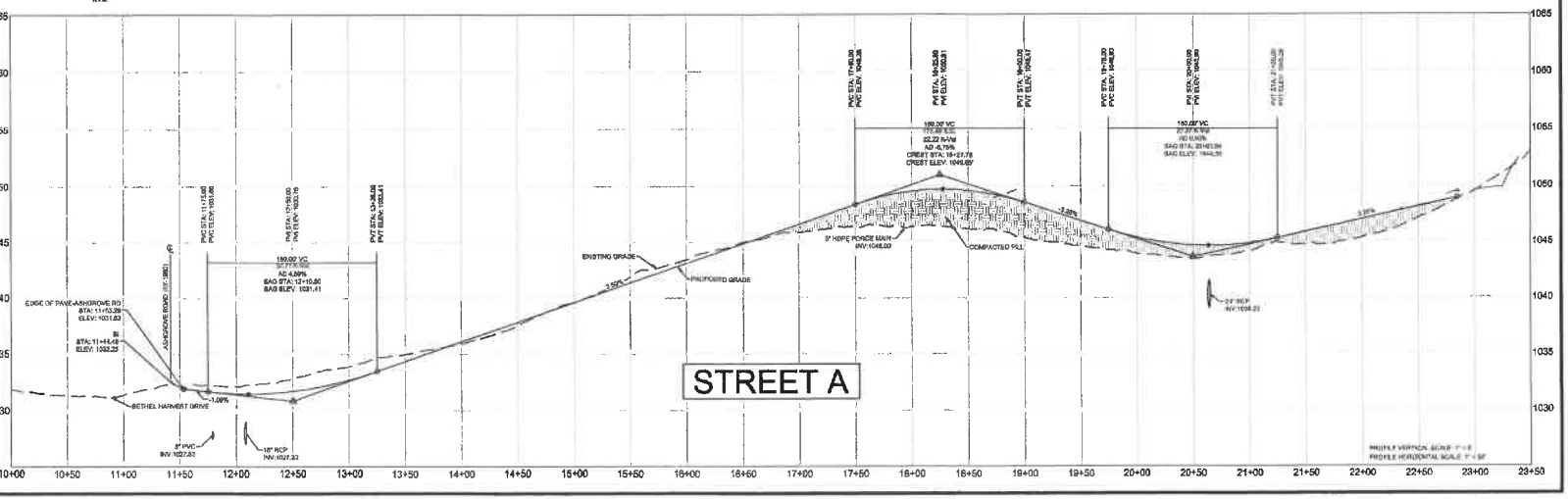
EDGE KEY DETAIL
N.T.S.

SECTION "A-A"
N.T.S. ASHGROVE RD.



SECTION "B-B"
N.T.S.





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Drawing 23153_04_Roadway.dwg

STATE OF KENTUCKY
AUSTIN D. SWINEY
36606
LICENSED PROFESSIONAL ENGINEER
09/23/2024

OWNER
ASHGROVE FARMS, LLC
1700 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
3801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1030 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

ROADWAY PLAN & PROFILE

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.2020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED
04	09/23/2024	
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JOB: 23153
DRAWN: AD/SK/JH
CHECKED: JDB

KENTUCKY UNDERGROUND PROTECTION INC.

KENTUCKY STATE LAW REQUIRES CONTRACTORS TO CALL TWO BUSINESS DAYS PRIOR TO DIGGING. CALL 811 OR 1-800-752-6007 FOR A LOCATOR REQUEST. ANY ORGANIZATIONS THAT ARE NOT A PART OF KUP INC. SHALL BE CONTACTED INDIVIDUALLY.

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY DIG SAFELY (K.D.S.)" (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS MARKER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

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GENERAL NOTES:

1. SEE BEST MANAGEMENT PRACTICES PLAN FOR ADDITIONAL EROSION CONTROL INFORMATION AND DETAILS.
2. ALL UTILITIES TO REMAIN ARE TO BE PROTECTED THROUGHOUT ALL CONSTRUCTION ACTIVITIES. ALL UTILITIES TO BE REMOVED OR CAPPED TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND GOVERNING AGENCY HAVING JURISDICTION.
3. ALL ITEMS TO BE REMOVED AND NOT BEING TURNED OVER TO OWNER TO BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF IN A LEGAL LANDFILL.
4. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL PERMITS RELATED TO THE REMOVAL OF DEMOLITION ITEMS.
5. SPOT ELEVATIONS FOR BOTTOM OF CURB (BC) ARE AT THE GUTTER LINE, AND ELEV FOR TOP OF CURB UNLESS NOTED OTHERWISE.
6. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE NOT TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL AND SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY THE CONTRACTOR FOLLOWING INSPECTIONS.

GRADING AND EROSION CONTROL NOTES:

1. NO GRADING SHALL COMMENCE UNTIL THE SOIL EROSION CONTROL AND SILT CONTROL PLANS ARE APPROVED BY THE NECESSARY GOVERNING AUTHORITY AND A GRADING PERMIT IS OBTAINED BY THE CONTRACTOR. ANY REVISIONS OR CHANGES MUST BE APPROVED BY THE AGENCY OR ENTITY REGULATING THESE DOCUMENTS.
2. PRIOR TO ANY GRADING, CONTRACTOR SHALL INSTALL ALL SILT CONTROL MEASURES. THIS INCLUDES ALL SILT FENCES, BASINS AND/OR ROCK DAMS/BERMS. UPON COMPLETION OF THE CONSTRUCTION OF EROSION CONTROL MEASURES, REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY. THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL STRUCTURES, AND KEEPING THEM FREE OF TRASH AND DEBRIS, THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING THE BUILDING PHASE.
3. IMMEDIATELY UPON COMPLETION OF SILT DAMS THE CONTRACTOR SHALL REBEED & MULCH BACK SLOPES WITH KY. D.O.T. MIXTURE NO. 1 (45% KY. 31 FESCUE, 7% CREEPING RED FESCUE, 7% RED TOP, 4% WHITE DUTCH CLOVER, 7% PERENNIAL RYEGRASS AND 30% ANNUAL RYEGRASS). ALL WORK TO BE IN CONFORMANCE WITH KENTUCKY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION MANUAL.
4. SILT CHECKS SHALL COMPLY WITH DETAILS SHOWN ON THE BMP SHEET.
5. SILT FENCES SHALL COMPLY WITH DETAILS SHOWN ON THE BMP SHEET.
6. ALL SEEDING AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE "KENTUCKY BEST MANAGEMENT PRACTICES MANUAL" UNLESS OTHERWISE NOTED.
7. ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR MORE THAN 21 DAYS SHALL BE STABILIZED BY SEEDING, SODDING, MULCHING, OR COVERING BY OTHER EQUIVALENT EROSION CONTROL AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THE PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
8. TOPSOIL STOCKPILES ARE TO BE SURROUNDED BY SILT FENCES, REBEEDED AND PLACED WHERE SOIL EROSION WOULD BE CONTROLLED BY THE SEDIMENT BASINS.
9. SILT SHALL BE CLEANED OUT OF THE SILT CHECK DAMS WHEN AND AS NOTED ON PLANS OR AT THE INSPECTOR'S REQUEST.
10. SILT FENCES SHALL BE CLEANED OUT AND REPAIRED WHEN THEY BECOME 1/3 FULL.
11. AFTER EVERY RAIN IN EXCESS OF 0.5", SILT CHECK DAMS SHALL BE INSPECTED, CLEANED AND REPAIRED IF NECESSARY.
12. IF GRADING OCCURS DURING WINTER MONTHS THE USE OF WINTER WHEAT SHOULD BE CONSIDERED.
13. GEOTECHNICAL ENGINEER OR THEIR PERSONNEL SHALL INSPECT, TEST AND CERTIFY PAD CONSTRUCTION WHENEVER ANY WORK IS BEING PERFORMED.
14. CONTRACTOR TO CONSTRUCT FILL IN A MAXIMUM OF 8" LIFTS BETWEEN COMPACTING WITH A MINIMUM OF 98% PROCTOR. THE FILL SHALL BE OF COMPACTED CLAY AND THE ENDS SHALL BE KEYED INTO GOOD CLAY MATERIAL.
15. ALL SLOPES SHALL BE IN ACCORDANCE WITH APPROVED CITY OF NICHOLASVILLE STANDARDS.
16. ALL AREAS STEEPER THAN 3:1 SHALL BE MULCHED AND STAKED AND/OR STAPLED INTO SOIL.
17. THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTENANCE OF THE SILT CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONSTRUCTION ENTRANCES AND PUBLIC STREETS FREE FROM MUD, DIRT, DEBRIS, ETC.
19. THE CONTRACTOR SHALL SURROUND EACH STORM INLET WITH A SILT FENCE WITH WIRE BACKING THEN WITH STAKED HAY BALES. BAGS OR WIRE'S MAY BE USED FOR DROP INLETS WITHIN PAVEMENT AREAS.
20. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION FOR UTILITY LOCATION.
21. THE CONSTRUCTION ENTRANCE SHALL BE A MINIMUM OF 50' X 20' IN SIZE, AND BE CONSTRUCTED WITH 6" OF NO. 3 STONE ON FILTER FABRIC IN ACCORDANCE WITH CHAPTER 4, SECTION 1 OF THE "BEST MANAGEMENT PRACTICES" MANUAL. THE ENTRANCE SHALL BE MAINTAINED AT ALL TIMES, AND BE INSPECTED DAILY TO ENSURE THAT IT REMAINS FREE OF MUD AND DIPS AT LEAST 0.3' BELOW THE UPPER EDGE OF THE EXISTING ENTRANCE.
22. SHOULD THE CONTRACTOR ENCOUNTER ROCK DURING EXCAVATION, THE ROCK SHALL BE REMOVED TO A MINIMUM OF 12 INCHES BELOW THE SUBGRADE.
23. HANDICAP SIDEWALK RAMPS SHALL BE CONSTRUCTED PER ADA STANDARDS.
24. THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES (B.U.D.), INCLUDING NON-MEMBER UTILITIES, PRIOR TO ANY CONSTRUCTION.
25. PAVEMENT DESIGN TO BE PERFORMED BY A GEOTECHNICAL AND/OR STRUCTURAL ENGINEER. FOUNDATION DESIGN TO BE PERFORMED BY A STRUCTURAL ENGINEER.
26. THE UTILITY LOCATION INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO ANY CONSTRUCTION.
27. EXISTING UTILITIES ARE LOCATED USING THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES PRIOR TO DIGGING. DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
28. ALL STORM SEWER INLETS, BOTH EXISTING AND PROPOSED, DIRECTLY INTERCEPTING STORM WATER AS A RESULT OF THIS DEVELOPMENT SHALL BE EQUIPPED WITH INLET PROTECTION IN ACCORDANCE WITH THE BMP PLAN.
29. NO GUTTER LINE OR DRAINAGE SWALE SHALL BE LESS THAN 0.50% SLOPE. CONTRACTOR RESPONSIBLE FOR ENSURING THAT THE SITE DRAINS PROPERLY. NO PONDING IS ALLOWED.
30. SLOPE OF GUTTERS (PERPENDICULAR TO CURB) WITHIN THE SITE SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT TO ALLOW FOR PROPER DRAINAGE.
31. MAX SIDE SLOPE IS TWO (2) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL (2H:1V). GREATER THAN OR EQUAL TO 3H:1V SLOPES ARE DESIRED.
32. SANITARY WASTE FACILITIES, CONCRETE WASHOUT, AND FUEL STORAGE (INCLUDING SECONDARY CONTAINMENT) SHALL BE LOCATED ON THESE PLANS ONCE IN PLACE.
33. REFER TO THE KENTUCKY EROSION AND SEDIMENT CONTROL (EPSC) GUIDE AND THE CITY OF NICHOLASVILLE BEST MANAGEMENT PRACTICES (BMP) MANUAL FOR ADDITIONAL INFORMATION ON EROSION CONTROL.

EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
SF	1 SILT FENCE
	2 ROCK CHECK DAM
	3 DRAINAGE SWALE
	4 CURB AND DROP BOX INLET PROTECTION
	5 PIPE INLET PROTECTION
	6 CONCRETE WASH PIT
	7 CONSTRUCTION ENTRANCE

Drawing: 23153_06_Grading Plan.dwg

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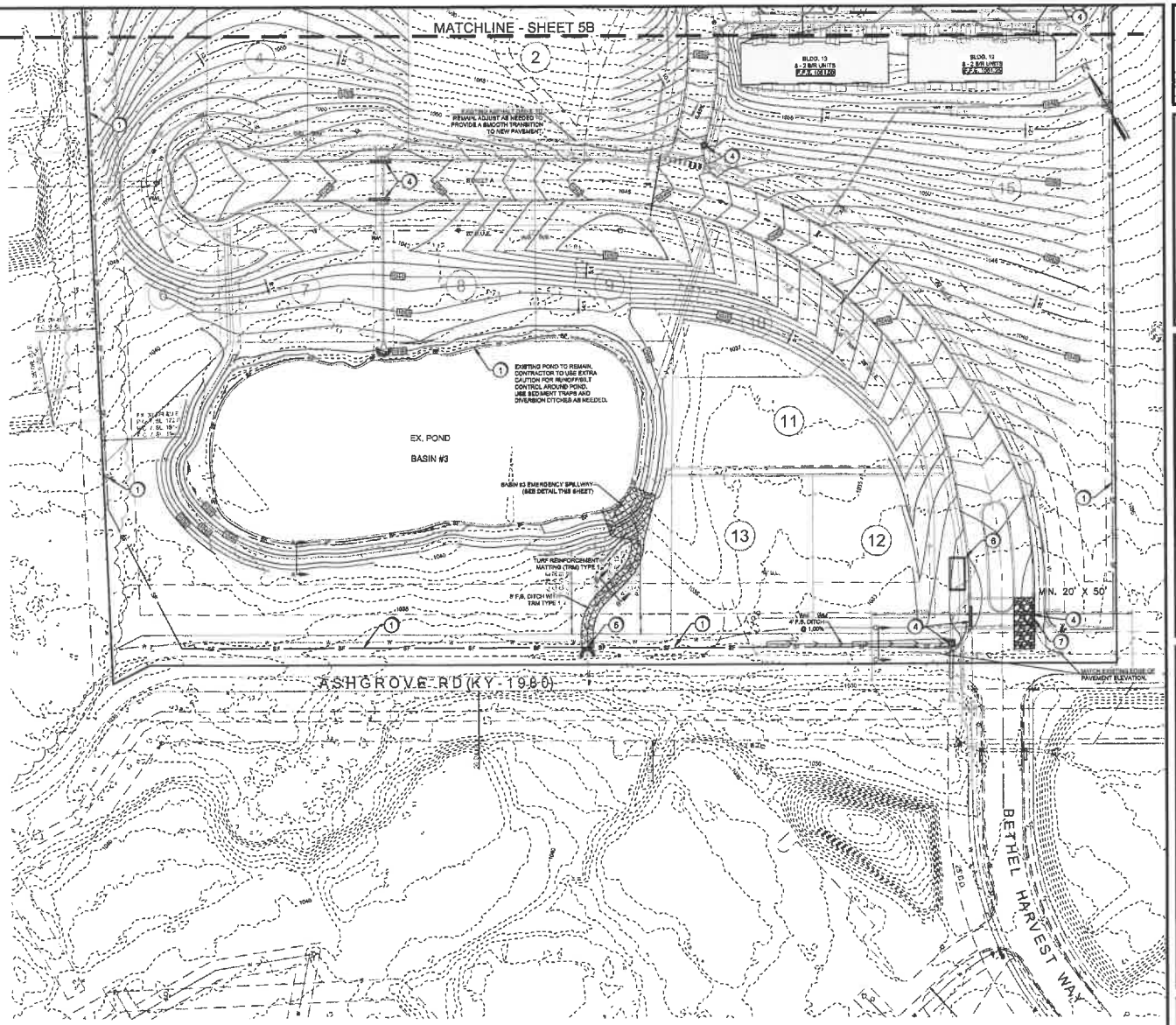
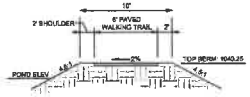
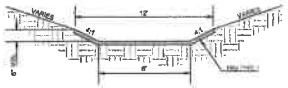


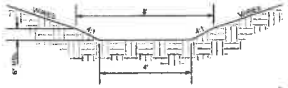
BASIN #3 EMERGENCY SPILLWAY



SECTION A-A (BASIN #1 BERM)



SECTION B-B (8' FB DITCH)



SECTION C-C (4' FB DITCH)

GRAPHIC SCALE

1 inch = 50 feet

STATE OF KENTUCKY
AUSTIN O. SWINEY
35805
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1001 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1850 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

GRADING PLAN & EROSION CONTROL PLAN

BANKS
1011 JESSAMINE STATION | NICHOLASVILLE, KY | 859.887.0020 | BANKSENGINEERING.NET

NO.	REVISION
1	
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DATE: 08/23/2024

SHEET 5A

JOB NO. 23153

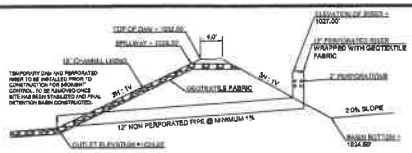
DRAWN: ADS/KJH

CHECKED: JDB

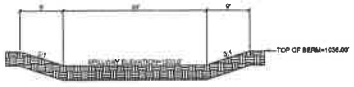
EROSION CONTROL LEGEND

SYMBOL		DESCRIPTION
SF	1	SILT FENCE
	2	ROCK CHECK DAM
	3	DRAINAGE SWALE
	4	CURB AND DROP BOX INLET PROTECTION
	5	PIPE INLET PROTECTION
	6	CONCRETE WASH PIT
	7	CONSTRUCTION ENTRANCE

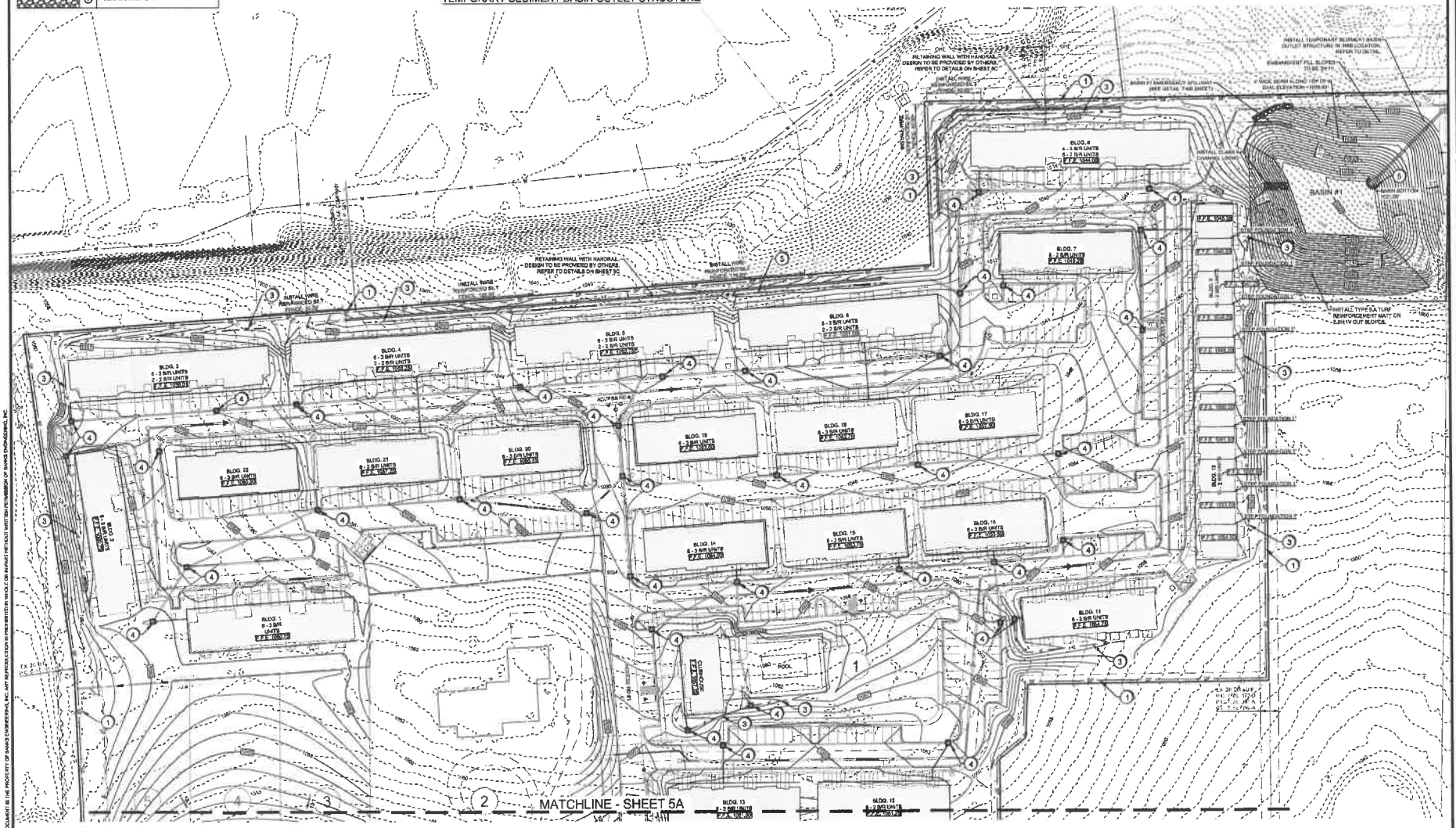
ELEVATION DETAILS:
REFER TO SHEETS 5C-5G FOR DETAILED ELEVATIONS AND ENLARGED VIEW.



TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE



BASIN #1 EMERGENCY SPILLWAY



GRAPHIC SCALE
1 inch = 50 feet

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Drawing: 23153_05_Grading Plan.dwg

STATE OF KENTUCKY
AUSTIN D. SWINEY
34806
LICENSED PROFESSIONAL ENGINEER
06/23/2024

OWNER
ASHGROVE FARMS, LLC
7701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1550 ASHGROVE ROAD, MICHAUSVILLE, KY 40055

GRADING PLAN & EROSION CONTROL PLAN

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DATE	06/23/2024	REVISED	
SHEET	5B	1	
JOB#	23153	2	
DRAWN	ADS/KJH	3	
DESIGN	JDB	4	
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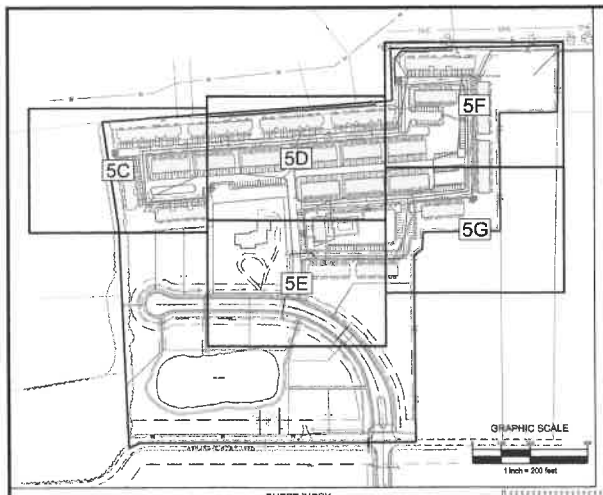
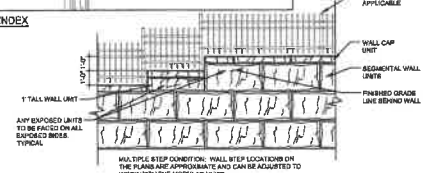
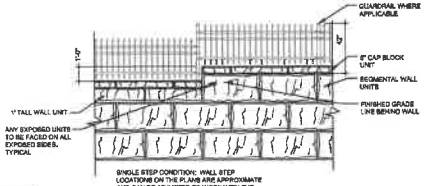


SHEET INDEX

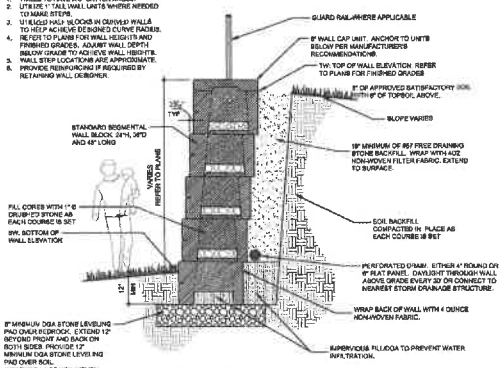




TYPICAL ELEVATION STEP AND GUARDRAIL
N.T.S.

RETAINING WALL SECTION IS SCHEMATIC AND SHOWN FOR DESIGN INTENT. RETAINING WALLS WILL BE A DELEGATED DESIGN BY RETAINING WALL MANUFACTURER'S LICENSED ENGINEER

NOTES:
1. WALLS TO HAVE A 6" BATTER ANGLE.
2. UTILIZE 1' TALL WALL UNITS WHERE NEEDED TO MAKE STEPS.
3. UTILIZED HALF BLOCKS IN CURVED WALLS TO HELP ACHIEVE DESIGNED CURVE RADIUS.
4. REFER TO PLANS FOR WALL HEIGHTS AND FINISHED GRADES. ADJUST WALL DEPTH BELOW GRADE TO ACHIEVE WALL HEIGHTS.
5. WALL STEP LOCATIONS ARE APPROXIMATE.
6. PROVIDE REINFORCING IF REQUIRED BY RETAINING WALL DESIGNER.



TYPICAL SEGMENTAL RETAINING WALL DETAIL
N.T.S.

SHEET NOTES:

(A) CONCRETE PATIO ON GRADE. REFER TO GRADING PLANS FOR ELEVATION. STEP DOWN A MINIMUM OF 0.25' FROM F.F.E. TO PATIO. SLOPE AWAY FROM BUILDING AT 2% MINIMUM.

(B) RAISED DECK.

(C) APPROXIMATE LOCATION OF STAIRS. FIELD ADJUST LOCATION AND # OF TREADS AS NEEDED TO REDUCE SIDEWALK LONGITUDINAL SLOPE TO 8% OR LESS. REFER TO STAIR DETAIL ON SHEET 11.

(D) TAPER CURB DOWN TO FLUSH WITH PAVEMENT. DRIVEWAY ELEVATION TO MATCH BUTTERFURAL

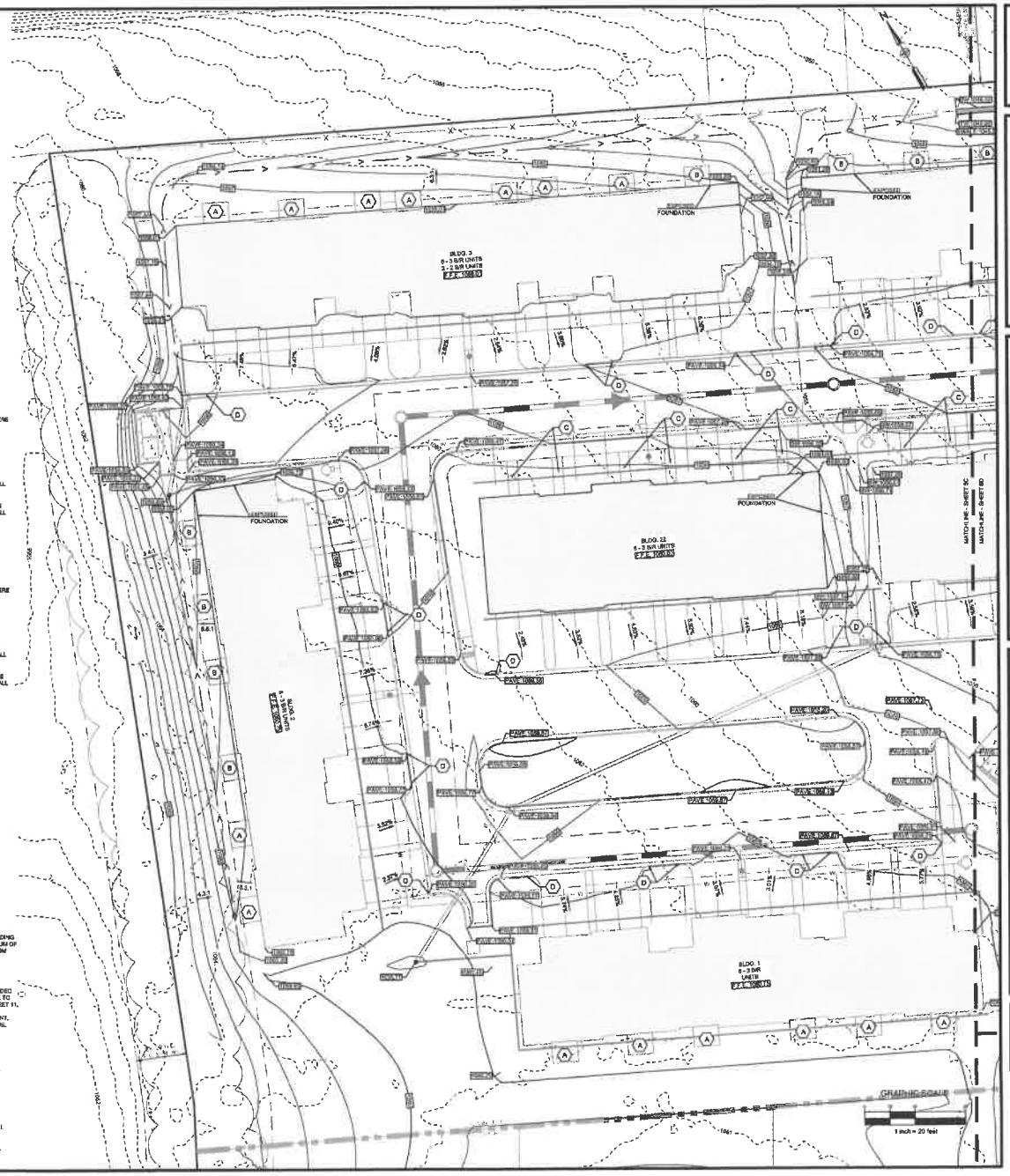
BENCHMARK

NOTE: ALL ELEVATIONS ARE BASED ON KENTUCKY SINGLE ZONE STATE PLANE COORDINATE SYSTEM DERIVED FROM A GPS SURVEY.

SPOT ELEVATION NOTES:

PAVE = PAVEMENT ELEVATION
LAND = LANDING ELEVATION
SW = SIDEWALK ELEVATION
TW = GRADE ELEVATION AT TOP OF WALL
BW = GRADE ELEVATION AT BOTTOM OF WALL

SPOT ELEVATIONS IN PAVEMENT AREAS REPRESENT PAVEMENT/GUTTER ELEVATION. ADD 0.5' FOR TOP OF CURB (IF APPLICABLE) UNLESS NOTED OTHERWISE.



STATE OF KENTUCKY
AUSTIN O. SWINEY
35809
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
17701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

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MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1-A
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ENLARGED GRADING PLAN

BANKS
1211 A SQUARE STATION | NICHOLASVILLE, KY | 859.873.0200 | BANKSENGINEERING.NET

SHEET	5C
JOB#	23153
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DATE	08/23/2024

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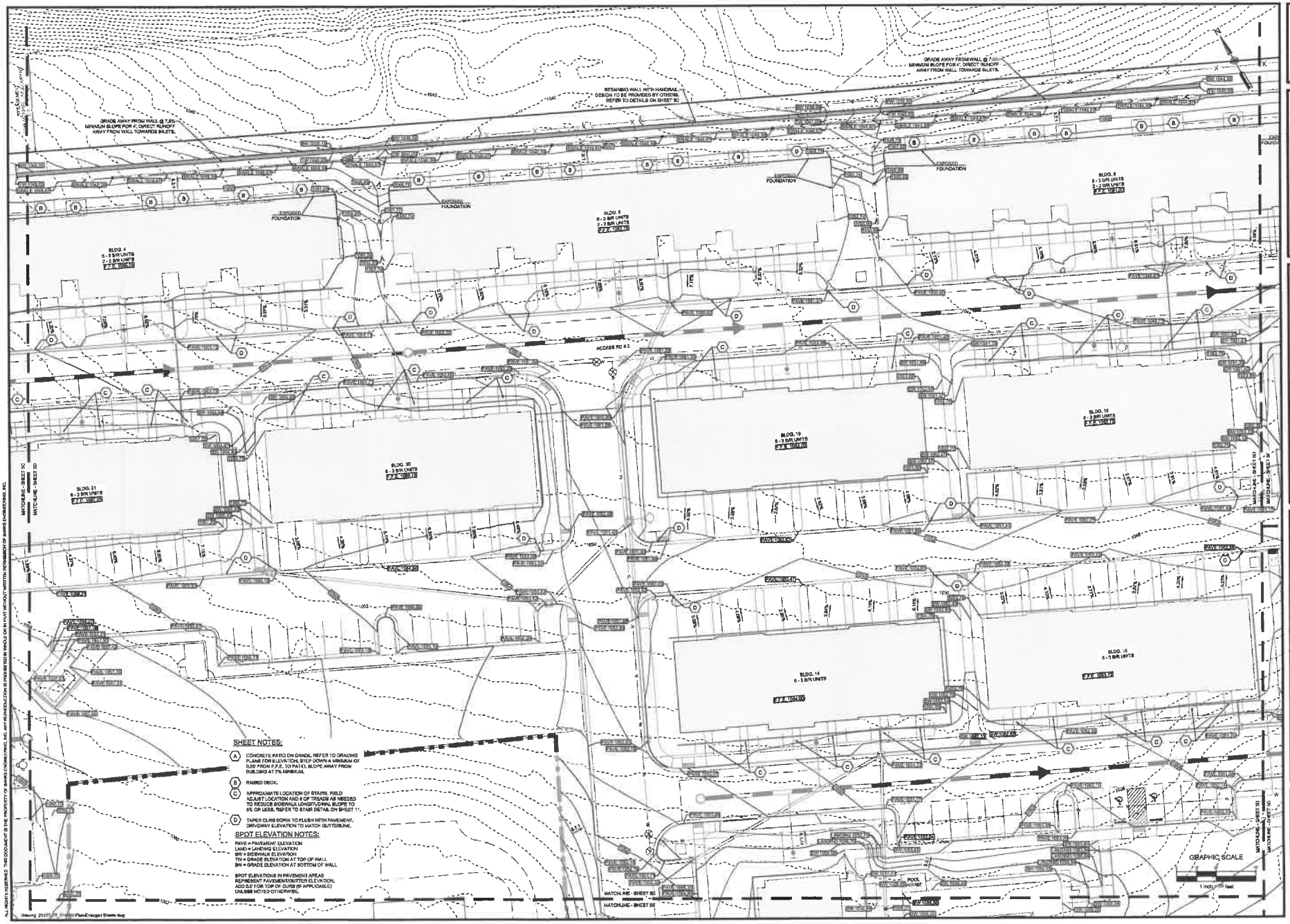
Drawing: 23153_08_Grading Plan-Enlarged Sheets.dwg



SHEET NOTES:

(A) CONCRETE PATIO ON GRADE. REFER TO GRADING PLANS FOR ELEVATION. STEP DOWN A MINIMUM OF 0.25' FROM F.F.E. TO PATIO. SLOPE AWAY FROM BUILDING AT 2% MINIMUM.

(B) RAISED DECK.

(C) APPROXIMATE LOCATION OF STAIRS. FIELD ADJUST LOCATION AND # OF TREADS AS NEEDED TO REDUCE SIDEWALK LONGITUDINAL SLOPE TO 5% OR LESS. REFER TO STAIR DETAIL ON SHEET 1.

(D) TAPER CURB DOWN TO FLUSH WITH PAVEMENT. DRIVEWAY ELEVATION TO MATCH GUTTERLINE.

SPOT ELEVATION NOTES:

PAVE = PAVEMENT ELEVATION
LAND = LANDING ELEVATION
SW = SIDEWALK ELEVATION
TW = GRADE ELEVATION AT TOP OF WALL
BW = GRADE ELEVATION AT BOTTOM OF WALL

SPOT ELEVATIONS IN PAVEMENT AREAS REPRESENT PAVEMENT/GUTTER ELEVATION. ADD 0.5' FOR TOP OF CURB (IF APPLICABLE) UNLESS NOTED OTHERWISE.

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Drawing: 23153_Site Plan-Enlarged Sheets.dwg

STATE OF KENTUCKY
AUSTIN D. SWINEY
30905
LICENSED PROFESSIONAL ENGINEER
9/23/2024

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1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
7501 PAYNE STREET, LOUISVILLE, KY 40206

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GEORGE N. & PATTY T. GILPIN PROPERTY
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5950 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

ENLARGED GRADING PLAN

BANKS
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SHEET	DATE	REVISED
5D	09/23/2024	1
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JOB# 23153
DRAWN: ADS/KJH
CHECKED: JDB

SHEET NOTES:

(A) CONCRETE PATIO ON GRADE. REFER TO GRADING PLANS FOR ELEVATION. STEP DOWN A MINIMUM OF 0.29' FROM F.F.E. TO PATIO. SLOPE AWAY FROM BUILDING AT 2% MINIMUM.

(B) RAISED DECK.

(C) APPROXIMATE LOCATION OF STAIRS. FIELD ADJUST LOCATION AND # OF TREADS AS NEEDED TO REDUCE SIDEWALK LONGITUDINAL SLOPE TO 8% OR LESS. REFER TO STAIR DETAIL ON SHEET 11.

(D) TAPER CURB DOWN TO FLUSH WITH PAVEMENT. DRIVEWAY ELEVATION TO MATCH GUTTER LINE.

SPOT ELEVATION NOTES:

PAVS = PAVEMENT ELEVATION
LAND = LANDING ELEVATION
SW = SIDEWALK ELEVATION
TW = GRADE ELEVATION AT TOP OF WALL
BW = GRADE ELEVATION AT BOTTOM OF WALL

SPOT ELEVATIONS IN PAVEMENT AREAS REPRESENT PAVEMENT/GUTTER ELEVATION. ADD 0.67' FOR TOP OF CURB (IF APPLICABLE) UNLESS NOTED OTHERWISE.

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STATE OF KENTUCKY
AUSTIN D SWINEY
35608
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
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DEVELOPER
MARIAN DEVELOPMENT
9801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1A
GEORGE N. & PATTY T. GILPIN PROPERTY
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1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

ENLARGED GRADING PLAN

BANKS
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SHEET	5E
DATE	08/23/2024
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TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

ENLARGED GRADING PLAN

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

STATE OF KENTUCKY
AUSTIN D. BWINEY
36890
LICENSED
PROFESSIONAL ENGINEER
08/23/2024

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JOB# 23153	1
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CHECKED JDB	3
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TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
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1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

ENLARGED GRADING PLAN

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

The Inter Lock For Digging Safety in Kentucky
Kentucky 811
Call 811 Before You Dig

KENTUCKY UNDERGROUND PROTECTION INC.

KENTUCKY STATE LAW REQUIRES CONTRACTORS TO CALL TWO BUSINESS DAYS PRIOR TO DIGGING, CALL 811 OR 1-800-752-6007 FOR A LOCATOR REQUEST. ANY ORGANIZATIONS THAT ARE NOT A PART OF KUP INC. SHALL BE CONTACTED INDIVIDUALLY.

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, KENTUCKY 811 BAR CLV (K.D.B.) (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

GENERAL NOTES:

1. REFER TO THE STANDARDS OF CONSTRUCTION NOTE ON THE COVER SHEET FOR FOR MATERIALS, INSTALLATION METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS
2. EXISTING UTILITIES ARE LOCATED USING THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES PRIOR TO DIGGING. DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
3. ALL UTILITIES TO REMAIN ARE TO BE PROTECTED THROUGHOUT ALL CONSTRUCTION ACTIVITIES. ALL UTILITIES TO BE REMOVED OR CAPPED TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND GOVERNING AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES (B.U.D.), INCLUDING NON-MEMBER UTILITIES, PRIOR TO ANY CONSTRUCTION.
5. THE UTILITY LOCATION INFORMATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE UTILITIES PRIOR TO ANY CONSTRUCTION.
6. ALL STORM SEWER INLETS, BOTH EXISTING AND PROPOSED, DIRECTLY INTERCEPTING STORM WATER AS A RESULT OF THIS DEVELOPMENT SHALL BE EQUIPPED WITH INLET PROTECTION IN ACCORDANCE WITH THE SWP PLAN.
7. WHERE LESS THAN 18" CLEARANCE BETWEEN STORM AND SANITARY, CONTRACTOR TO CONCRETE ENCASE SANITARY PIPE 10 FEET TO EITHER SIDE OF THE CROSSING.
8. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NICHOLASVILLE STANDARDS AND SPECIFICATIONS.
9. ALL OUTLET HEADWALLS SHALL BE SLOPED AND FLARED WITH ENERGY DISSIPATERS.
10. PIPE LENGTHS SHOWN ON PROFILES ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
11. RIM FOR CURB BOX INLETS REFERS TO TOP OF BOX AT MANHOLE LID LOCATION.
12. ANY CHANGES FROM THE APPROVED PLANS SHALL BE SUBMITTED IN WRITING TO AND APPROVED BY THE OWNER, JSRWD, LFUCG, NICHOLASVILLE PLANNING COMMISSION AND ENGINEER PRIOR TO THE WORK BEING DONE.
13. UNDER ALL PROPOSED PAVED AREAS, THE ENTIRE TRENCH SHOULD BE BACKFILLED WITH STONE.
14. WHEN LAYING HDPE PIPE (IF USED) ALL TRENCH BACKFILL SHALL BE IN COMPLIANCE WITH MANUFACTURERS MINIMUM REQUIREMENTS AND PROPER CARE SHALL BE USED WHEN DOING THIS WORK.
15. STORM SEWER MANHOLES SHALL NOT BE COVERED BY ANY CONSTRUCTION OPERATION.
16. THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL STORM SEWERS CLEANED OF SILT AND DEBRIS AND FUNCTIONING PROPERLY.

STORM SEWER NOTES:

1. ALL STORM SEWERS DENOTED AS "RCP" OR "RCEP" SHALL BE CONCRETE. THOSE DENOTED AS "PPE" MAY BE EITHER CONCRETE OR HDPE.
2. INLETS LOCATED WITHIN ROLL CURB SHALL HAVE A DRIVE OVERROLL CURB GRATE INSTALLED (HOE-416 OR APPROVED EQUAL)

INFRASTRUCTURE FIELD ADJUSTMENT NOTE:

CONTRACTOR SHALL MAKE NECESSARY FIELD ADJUSTMENTS TO ALL STORM SEWER STRUCTURES SHOWN HEREON TO MATCH CONSTRUCTED FIELD CONDITIONS AT NO ADDITIONAL COST TO THE OWNER OR THE ENGINEER. TOP PHASES OF CURB BOX INLETS SHALL BE INSTALLED PARALLEL TO THE SLOPE OF THE ADJACENT CURB LINE.

UNDERGROUND UTILITIES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

STORM DRAINAGE FACILITIES NOTES FOR NICHOLASVILLE KENTUCKY:

1. STORM SEWER PIPE SHALL BE AS DESIGNATED ON THE APPROVED CONSTRUCTION PLANS, AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS.
2. BEDDING AND BACKFILL SHALL CONSIST OF THE FOLLOWING:

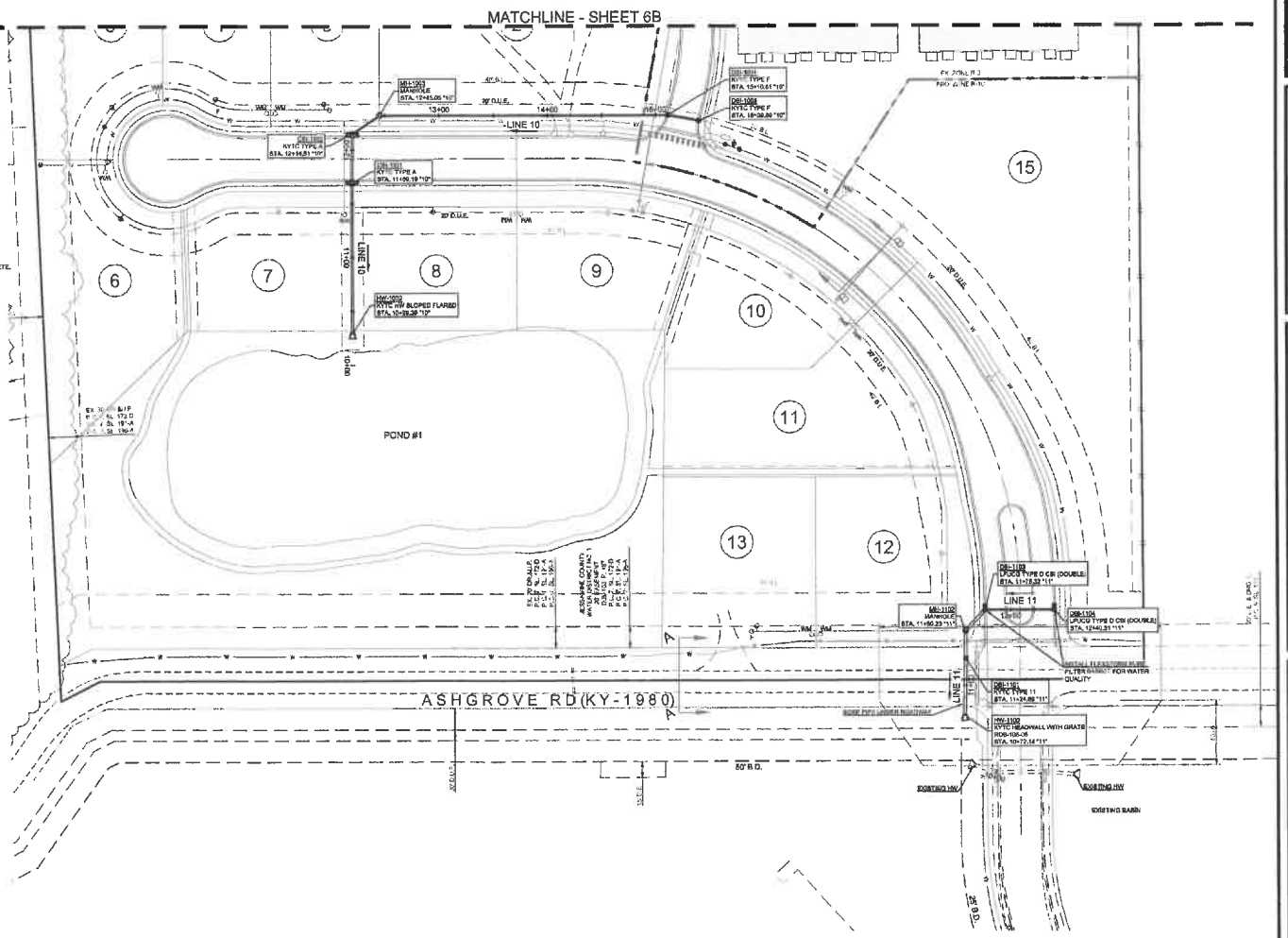
   A.) WHEN THE TRENCH EXCAVATION IS IN ROCK, THE PIPE SHALL BE BEDDED ON AT LEAST 6 INCHES OF NO. 8 OR NO. 68 CRUSHED STONE, AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THE CULVERT SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 12 INCHES IN ANY DIMENSION.

   B.) WHEN THE TRENCH EXCAVATION IS IN SOIL, CORRUGATED METAL PIPE (CMP), REINFORCED CONCRETE PIPE (RCP), DUCTILE IRON PIPE (DIP) AND SHALL BE BEDDED ON A LEAST 6 INCHES OF NO. 8 OR NO. 68 CRUSHED STONE, AND SHALL BE BACKFILLED WITH NO. 6 OR NO. 68 CRUSHED STONE TO THE SPRINGLINE OF THE PIPE. THE REMAINING PORTION OF THE TRENCH NOT LOCATED WITHIN A STREET, CAN BE BACKFILLED WITH SELECT SOIL CONTAINING ROCKS NO LARGER THAN 3/4 INCH IN SIZE.

   C.) WHEN THE TRENCH EXCAVATION IS IN SOIL, HIGH DENSITY POLYETHYLENE (HDPE) PIPE AND POLY VINYL CHLORIDE (PVC) PIPE SHALL BE BEDDED ON AT LEAST 6 INCHES OF NO. 8 OR NO. 68 CRUSHED STONE AND SHALL BE BACKFILLED WITH NO. 6 OR NO. 68 CRUSHED STONE TO THE TOP OF THE PIPE. THE REMAINING PORTION OF THE TRENCH NOT LOCATED WITHIN A STREET, CAN BE BACKFILLED WITH SELECT SOIL CONTAINING ROCKS NO LARGER THAN 3/4 INCH IN SIZE.

   D.) WHEN THE TRENCH EXCAVATION IS WITHIN A STREET (I.E., BACK OF CURB TO BACK OF CURB), THEN THE ENTIRE TRENCH SHALL BE BACKFILLED WITH NO. 6 OR NO. 68 CRUSHED STONE.
3. MANHOLES SHALL BE CONSTRUCTED OF PRECAST CONCRETE AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS. ALL MANHOLE TOPS SHALL BE ECCENTRIC IN DESIGN, CONICAL TOPS SHALL BE USED FOR ALL MANHOLES WITH DEPTHS SUFFICIENT FOR THEIR USE. MINOR GRADE ADJUSTMENTS (THROUGH THE USE OF GRADE RINGS) TO THE RIM ELEVATION SHALL NOT EXCEED 12 INCHES. NO MORE THAN 2 GRADE RINGS SHALL BE PERMITTED. BITUMINOUS MASTIC SEALANT SHALL BE USED AT EACH JOINT OF THE MANHOLE AND BETWEEN ALL GRADE RINGS AND/OR CASTINGS. NON-SHRINK (HYDRAULIC) GROUT SHALL BE REQUIRED INSIDE THE MANHOLES WHERE THE PIPES ENTER AND EXIT.
4. HEADWALLS AND OTHER CONCRETE STRUCTURES SHALL BE AS DESIGNATED ON THE APPROVED CONSTRUCTION PLANS, AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS.
5. DRAINAGE SWALES AND DETENTION BASINS SHALL CONFORM TO THE GENERAL SPECIFICATIONS. DRAINAGE SWALES SHALL BE SODDED TO THE ELEVATION OF THE 25-YEAR FREQUENCY STORM. THE BOTTOMS AND SIDE SLOPES OF DETENTION BASINS SHALL BE SODDED.

NOTE: SEE SHEETS 6D-6E FOR STORM SEWER PROFILES



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Drawing: 23153_06_Storm Sewer Plan.dwg

STATE OF KENTUCKY
AUSTIN D SWINEY
38606
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
3711 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299
DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER PLAN

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
6A	09/23/2024	1	
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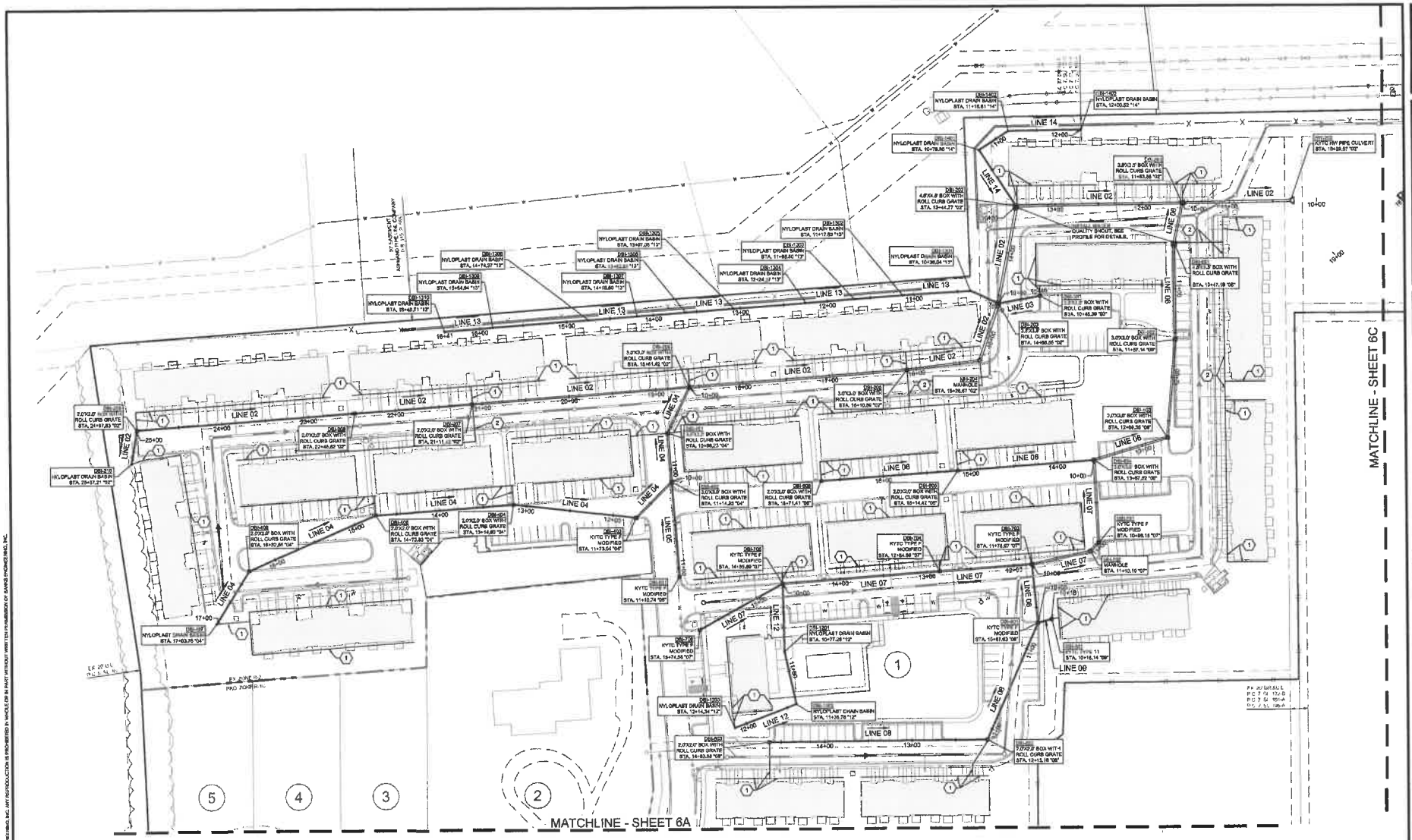
JOB 23153
DRAWN ADS/KJH
CHECKED JDB



STORM SEWER PLAN

SCALE: 1"=50'-0"

NORTH

0 25 50 100

ROOF DRAIN NOTES:

1. DOWNSPOUT COLLECTOR LINES ARE SHOWN AS THE DESIGN INTENT TO COLLECT AND ROUTE ROOF DRAINAGE, ALTHOUGH THEY ARE NOT REQUIRED. THEY ARE STRONGLY RECOMMENDED. INSTALLATION IS UP TO THE OWNERS DISCRETION. SPLASH BLOCKS SHALL BE INSTALLED FOR ALL DOWNSPOUTS THAT DO NOT TIE INTO A COLLECTOR LINE. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT QUANTITY AND LOCATION OF THE DOWNSPOUTS.
3. CONNECT ALL DOWNSPOUTS TO DOWNSPOUT BOOT AND STORM DRAINAGE SYSTEM PER DOWNSPOUT BOOT DETAILS. SIZE DOWNSPOUT BOOT ACCORDINGLY TO FIT DOWNSPOUT.
4. ALL ROOF DRAIN DOWNSPOUTS TO TIE INTO DOWNSPOUT COLLECTOR LINES AS SHOWN ON PLANS, MINIMUM 1% SLOPE.
5. PROVIDE CLEANOUTS AS INDICATED, OR AS REQUIRED, FOR ROOF DRAIN LINES PER CLEANOUT DETAILS.
6. EXTEND OR ADJUST DOWNSPOUT COLLECTOR LINES AS NEEDED DURING CONSTRUCTION TO ALIGN WITH DOWNSPOUT LOCATIONS.
7. REFER TO ARCHITECTURAL/PLUMBING PLANS FOR CONTINUATION OF DRAINAGE SYSTEM THROUGHOUT BUILDING IF APPLICABLE.

SHEET NOTES:

1. 8" HDPE DOWNSPOUT COLLECTOR PIPE TYPICAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONSTRUCT AT A MINIMUM SLOPE OF 0.5%. CONNECT TO STORM SEWER.
2. 12" HDPE DOWNSPOUT COLLECTOR PIPE TYPICAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONSTRUCT AT A MINIMUM SLOPE OF 0.5%. CONNECT TO STORM SEWER.

NOTE: SEE SHEETS 6D-6F FOR STORM SEWER PROFILES

STATE OF KENTUCKY
AUSTIN D. SWINEY
36806
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 186-A
1500 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER PLAN

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.887.9000 | WWW.BANKSENGINEERING.NET

SHEET	DATE	REVISED	
6B	09/23/2024	1	
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JOB# 23193		3	
DRAWN ADS/KJH		4	
CHECKED JDB		5	

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Drawing: 23193_06_Storm Sewer Plan.dwg

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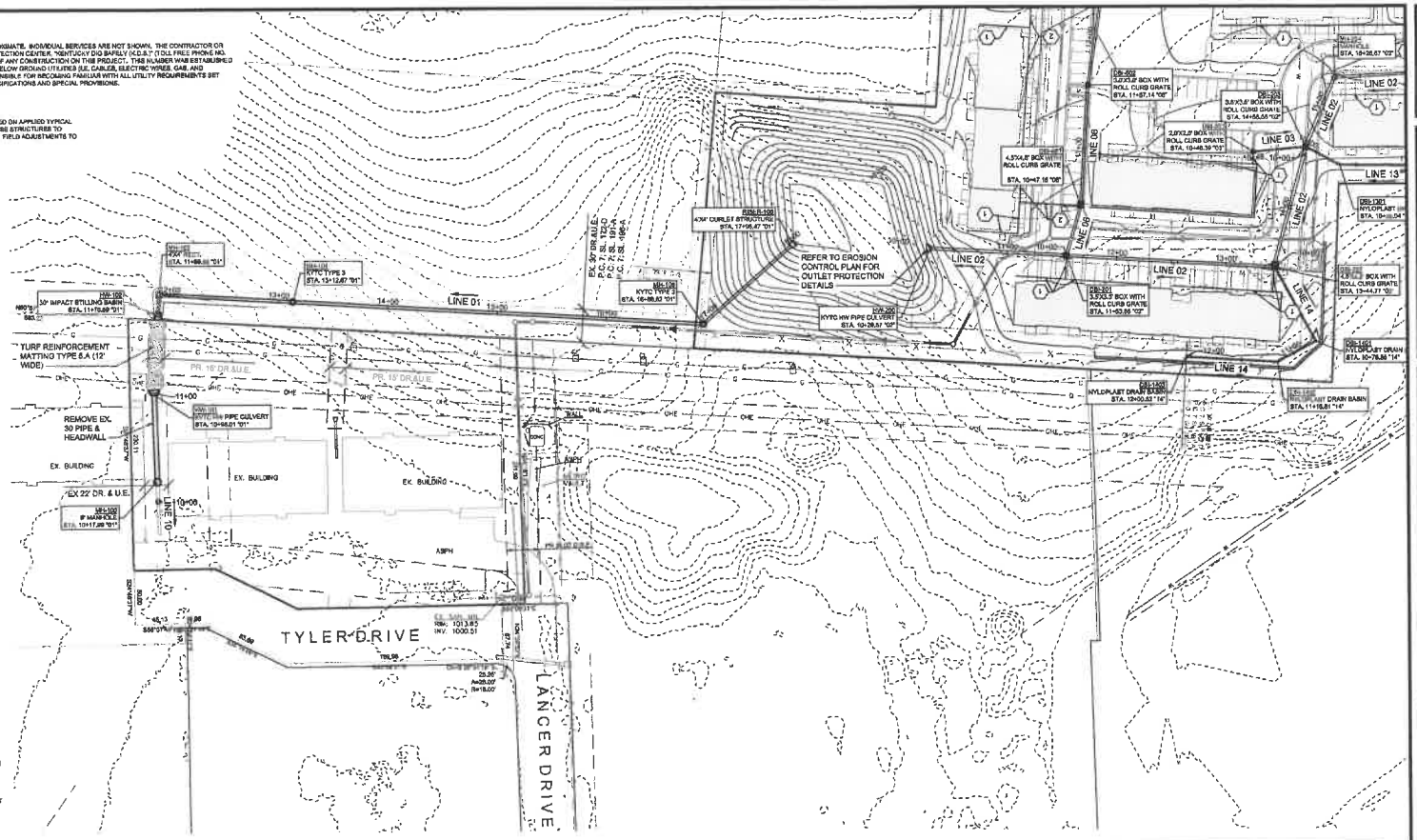
Kentucky 811
Call 811 Before You Dig

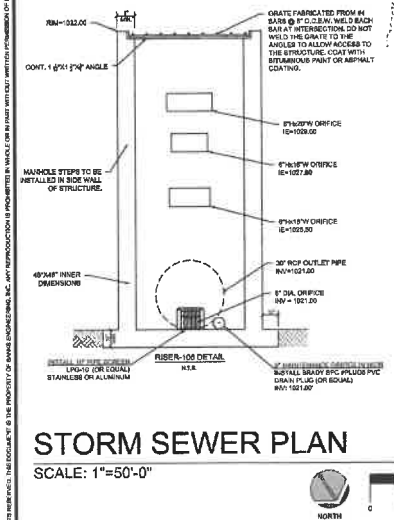
UTILITY NOTE:

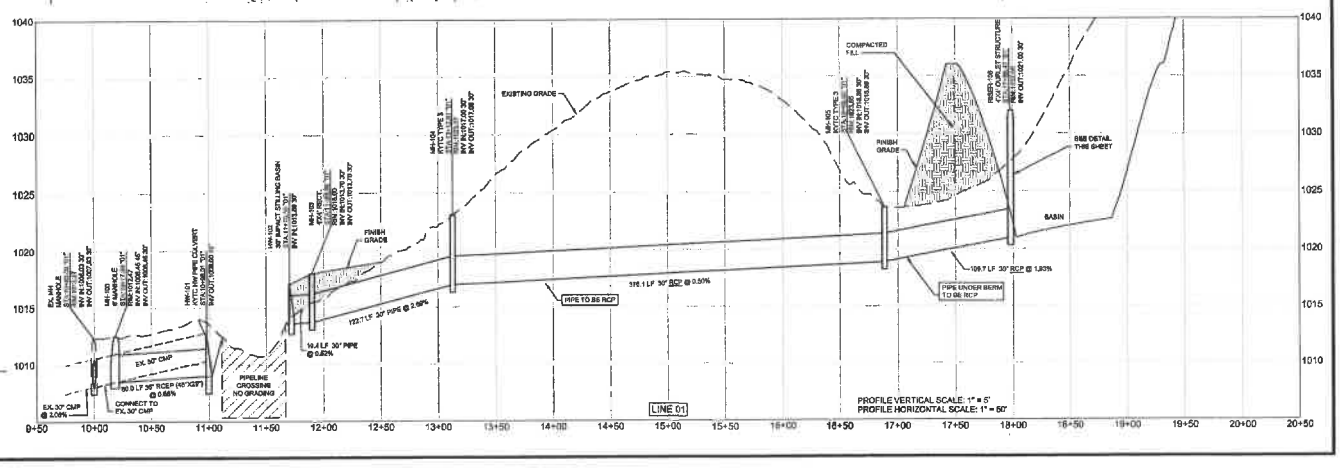
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, KENTUCKY DIG SAFELY (K.D.S.P.) TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THE PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

INFRASTRUCTURE FIELD ADJUSTMENT NOTE

INLET AND RIM ELEVATIONS FOR SANITARY AND STORM SEWER STRUCTURES SHOWN HEREON ARE BASED ON APPLIED TYPICAL STREET SECTIONS AND LOT GRADING. CONTRACTOR TO MAKE NECESSARY FIELD ADJUSTMENTS TO THESE STRUCTURES TO MATCH CONSTRUCTED FIELD CONDITIONS AT NO ADDITIONAL COST TO THE OWNER OR THE ENGINEER. FIELD ADJUSTMENTS TO WATERLINE APPURTENANCES SHALL ALSO BE REQUIRED TO MATCH CONSTRUCTED FIELD CONDITIONS.







STORM SEWER PLAN

SCALE: 1"=50'-0"

NORTH

0 25 50 100

Drawing: 23153_06_Storm Sewer Plan.dwg

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STATE OF KENTUCKY
AUSTIN D. SWINEY
36506
LICENSED PROFESSIONAL ENGINEER
0/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195C-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER PLAN

BANKS
1211 - 2 SAMPLE STATION | NICHOLASVILLE, KY | 859.881.5000 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
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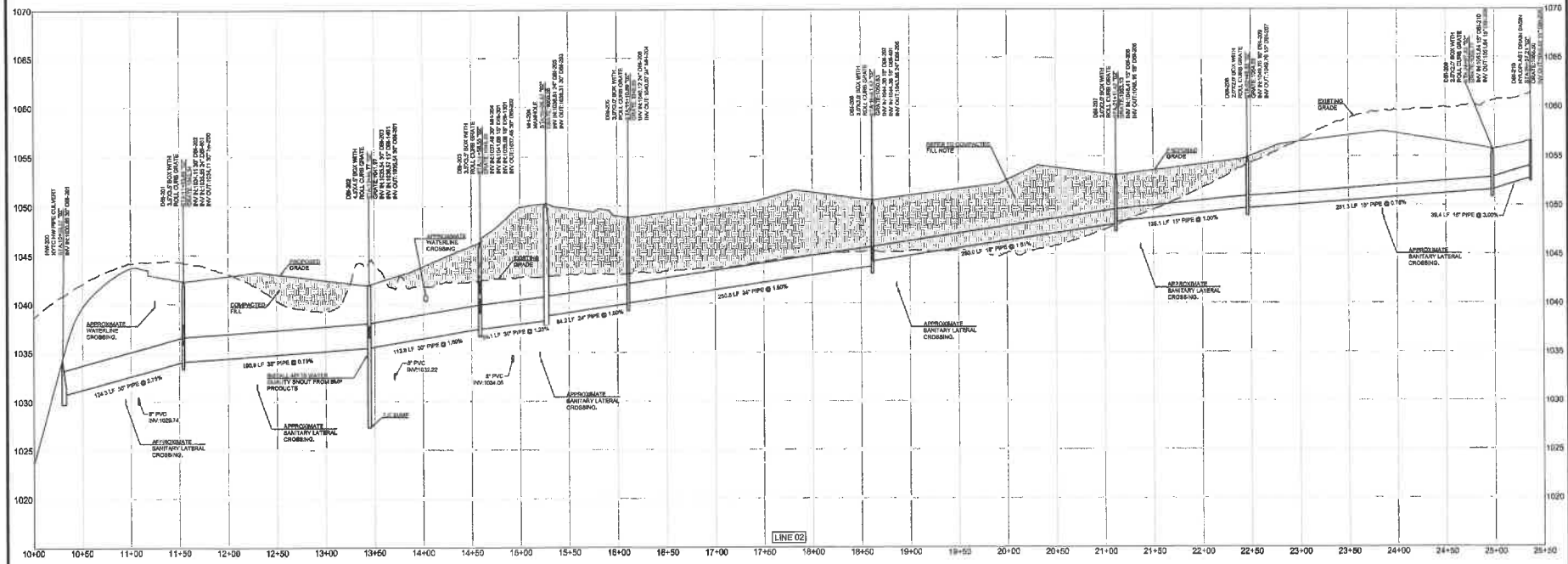
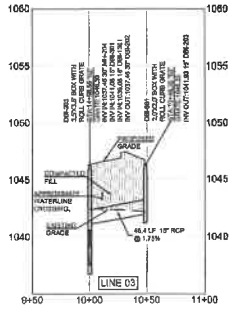
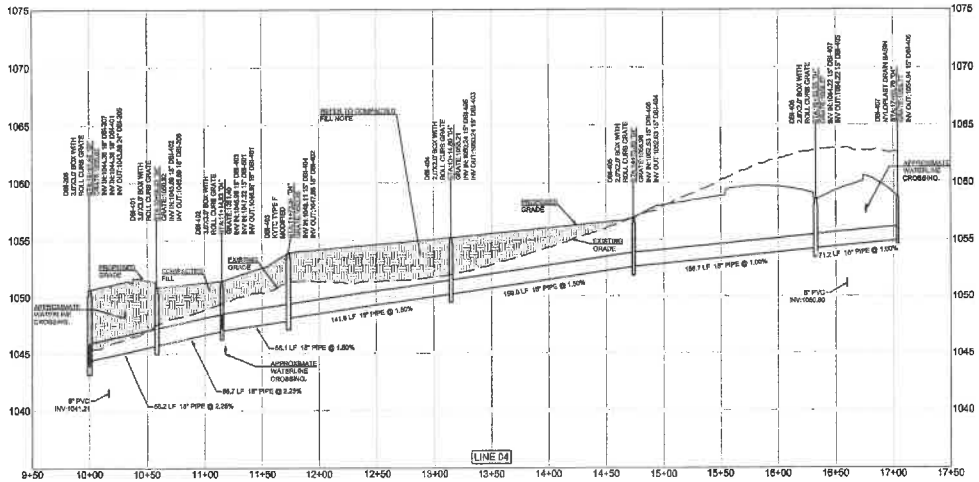
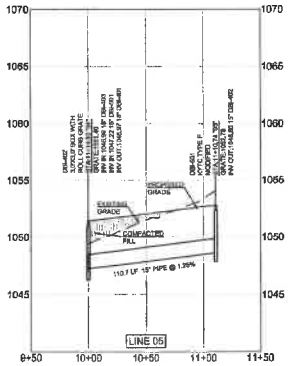
DRAWN ADS/KJH		4	
DESIGN JDB		5	









NOTE: SEE SHEETS 6A-6B FOR STORM SEWER PLAN VIEW

COMPACTED FILL NOTE:
CONTRACTOR TO FURNISH COPY OF DENSITY TEST RESULTS OF FILL BELOW STORM AND SANITARY SEWER LINES TO JBEWD. REFER TO GRADING & EROSION CONTROL SHEET NOTES FOR COMPACTION SPECIFICATIONS.

PROFILE VERTICAL SCALE: 1" = 8'
PROFILE HORIZONTAL SCALE: 1" = 50'

STATE OF KENTUCKY
AUSTIN D. SWINEY
36806
LICENSED PROFESSIONAL ENGINEER
6/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299
DEVELOPER
MARIAN DEVELOPMENT
1501 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET F, SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER PROFILES

BANKS
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SHEET	DATE	REVISED
6D	6/23/2024	1
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JOB# 23153
DRAWN ADS/KJH
CHECKED JDB

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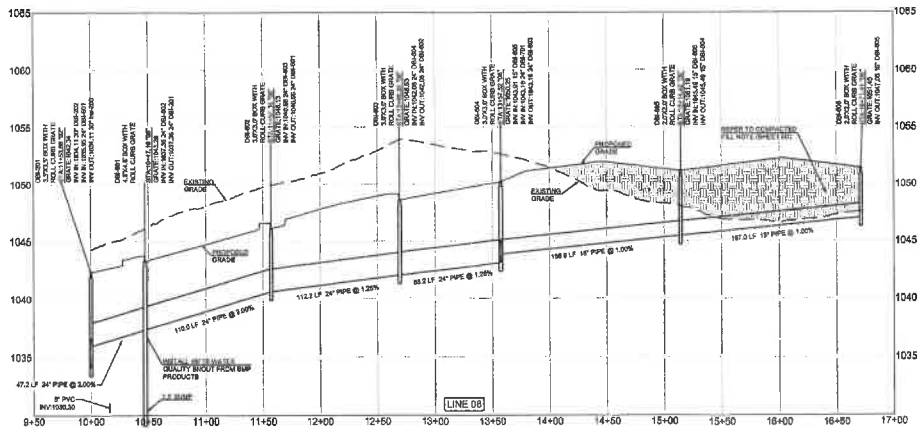
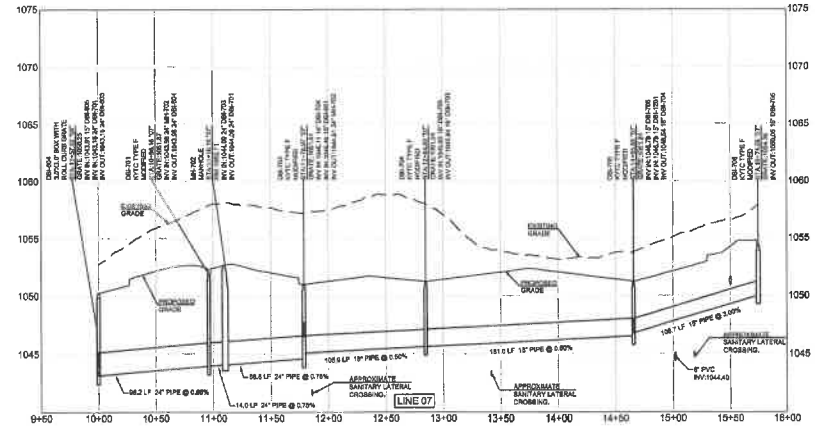
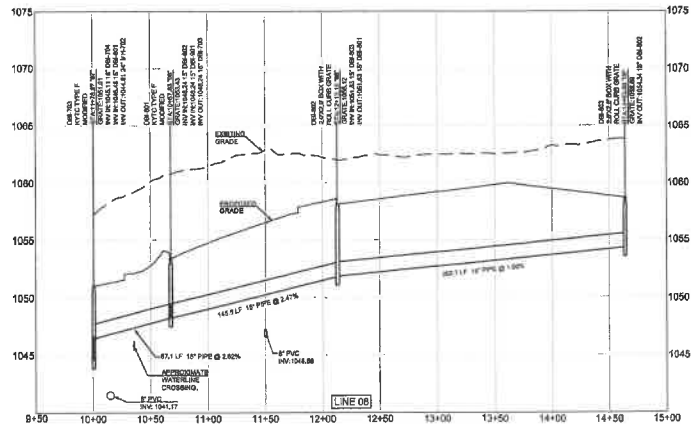
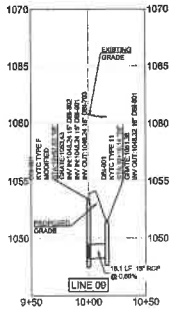
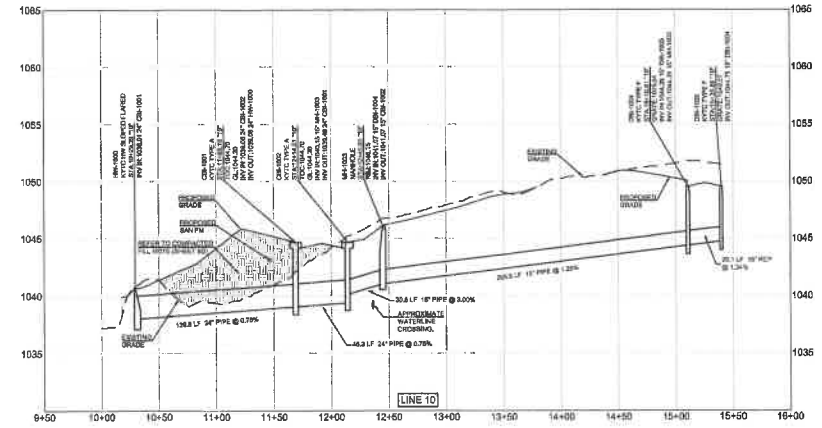
Drawing: 23153_06_Storm Sewer Plan.dwg

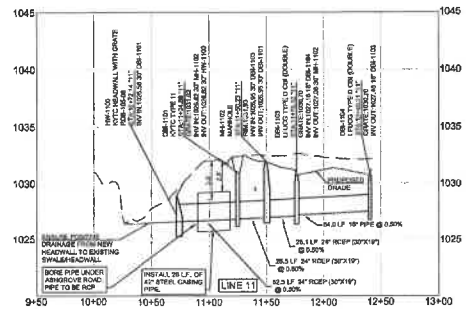


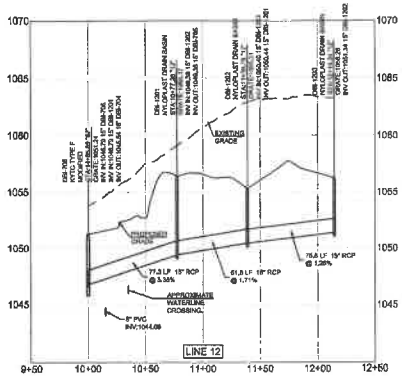


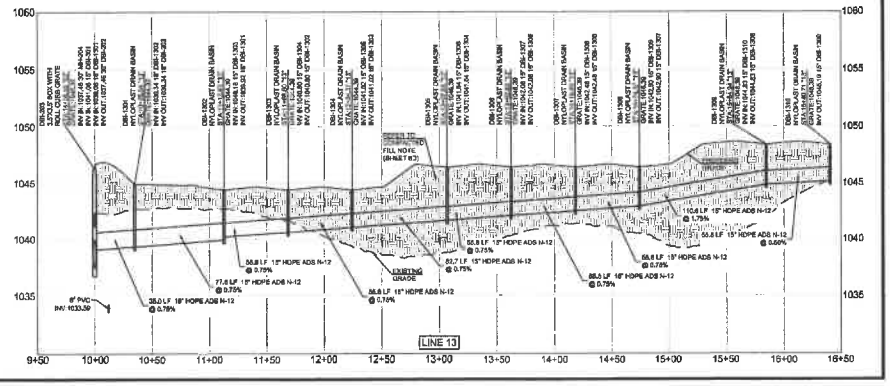












NOTE: SEE SHEETS 6A-6B FOR STORM SEWER PLAN VIEW

PROFILE VERTICAL SCALE: 1" = 5'
PROFILE HORIZONTAL SCALE: 1" = 50'

Drawing: 23153_09_Storm Sewer Plan.dwg

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STATE OF KENTUCKY
AUSTIN D. SWINEY
36506
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH BRIDGE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER PROFILES

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
6E	09/23/2024	1	
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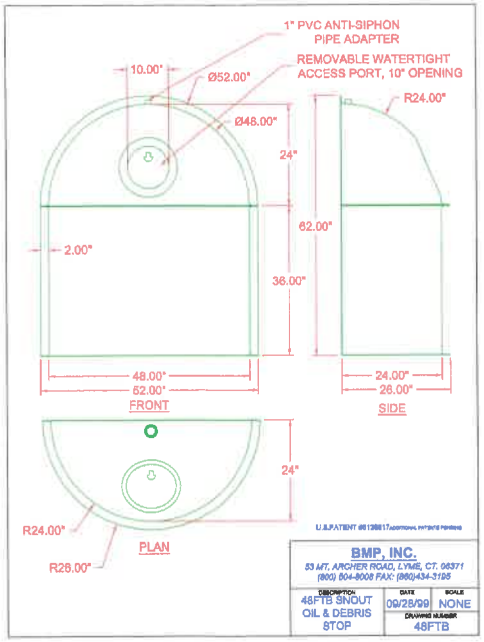
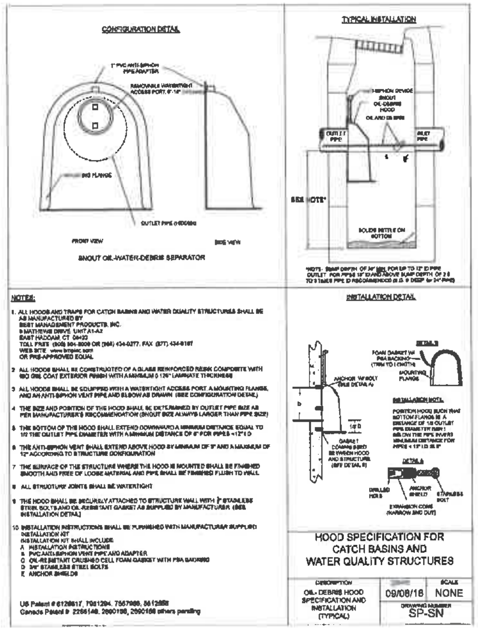
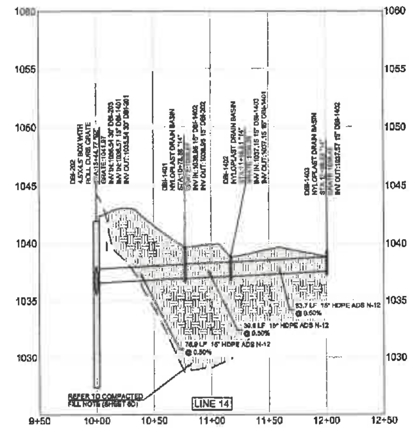
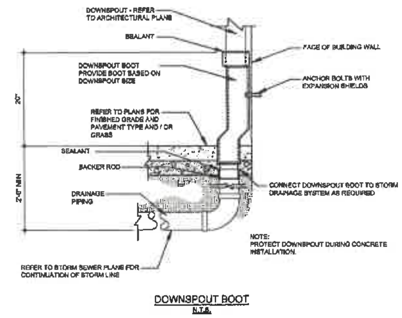
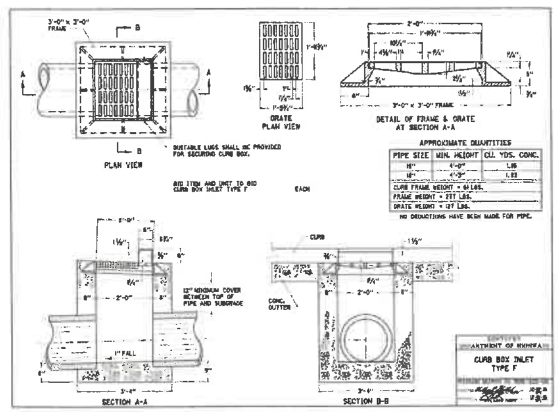
JOB: 23153
DRAWN: ADS/KJH
CHECKED: JDB

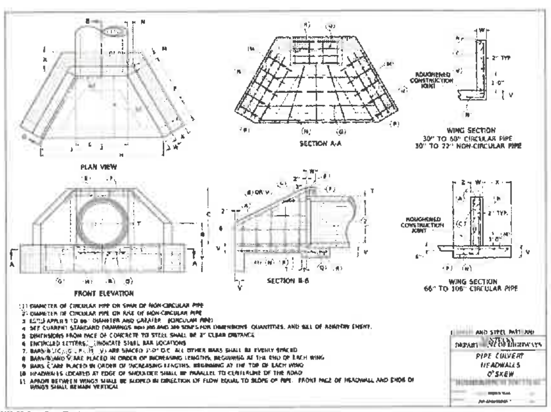


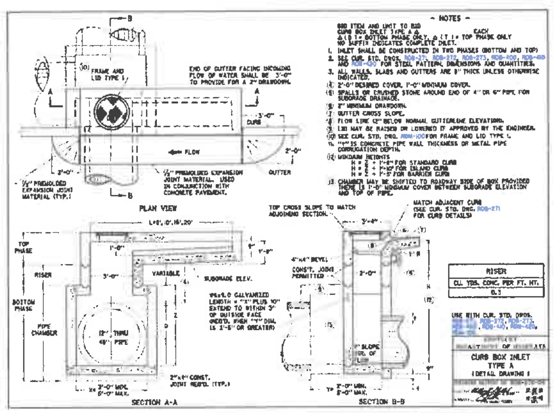


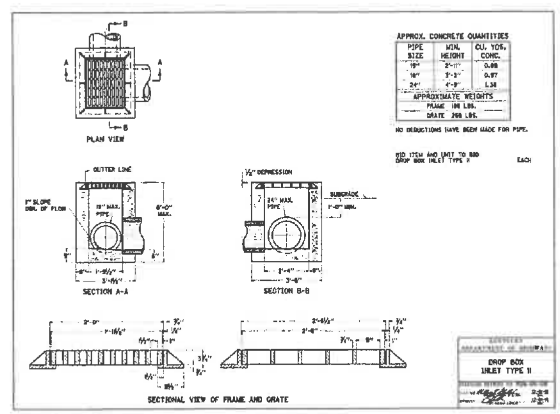












Drawing: 23153_06_Storm Sewer Plan.dwg

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STATE OF KENTUCKY
AUSTIN D. SWINEY
38808
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

STORM SEWER DETAILS

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

SHEET	6F
DATE	09/23/2024
REVISED	1, 2, 3, 4, 5
JOB	23153
DRAWN	ADS/KJH
CHECKED	JDB

The New Look Per Digging Safely. in Kentucky
Kentucky 811
Call it Before You Dig

UTILITY NOTE:

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INFRASTRUCTURE FIELD ADJUSTMENT NOTE

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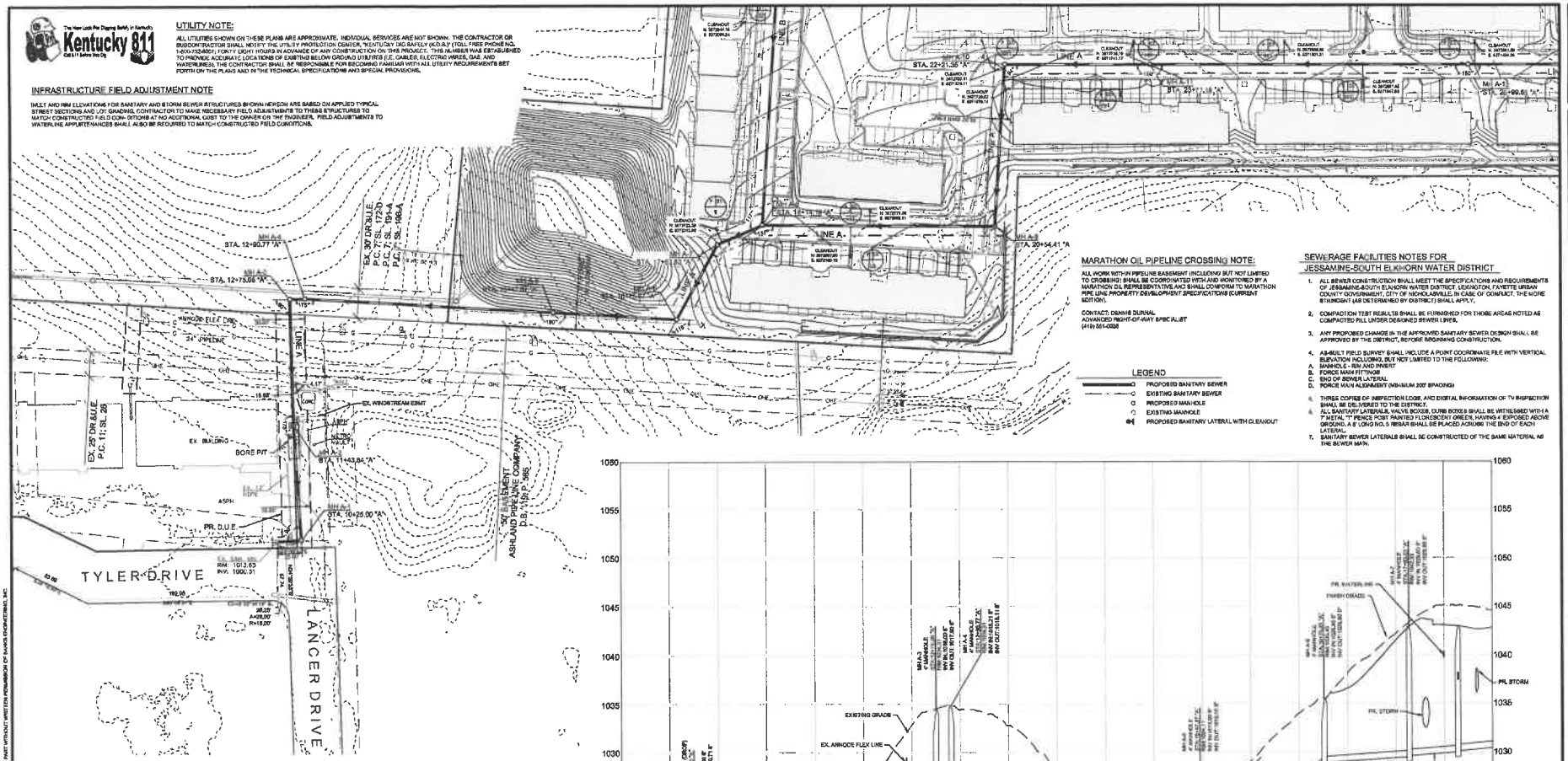


MARATHON OIL PIPELINE CROSSING NOTE:

ALL WORK WITHIN PIPELINE EASEMENT (INCLUDING BUT NOT LIMITED TO CROSSING) SHALL BE COORDINATED WITH AND MONITORED BY A MARATHON OIL REPRESENTATIVE AND SHALL CONFORM TO MARATHON PIPE LINE PROPERTY DEVELOPMENT SPECIFICATIONS (CURRENT EDITION).

CONTACT: DENNIS DURNAL
ADVANCED RIGHT-OF-WAY SPECIALIST
(419) 561-0038

LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED SANITARY LATERAL WITH CLEANOUT

SEWERAGE FACILITIES NOTES FOR JESSAMINE-SOUTH ELKHORN WATER DISTRICT

1. ALL SEWER CONSTRUCTION SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF JESSAMINE-SOUTH ELKHORN WATER DISTRICT, LEXINGTON, FAYETTE URBAN COUNTY GOVERNMENT, CITY OF NICHOLASVILLE. IN CASE OF CONFLICT, THE MORE STRINGENT (AS DETERMINED BY DISTRICT) SHALL APPLY.
2. COMPACTION TEST RESULTS SHALL BE FURNISHED FOR THOSE AREAS NOTED AS COMPACTED FILL UNDER DESIGNED SEWER LINES.
3. ANY PROPOSED CHANGE IN THE APPROVED SANITARY SEWER DESIGN SHALL BE APPROVED BY THE DISTRICT, BEFORE BEGINNING CONSTRUCTION.
4. AS-BUILT FIELD SURVEY SHALL INCLUDE A POINT COORDINATE FILE WITH VERTICAL ELEVATION INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
   A. MANHOLE - RIM AND INVERT
   B. FORCE MAIN FITTINGS
   C. END OF SEWER LATERAL
   D. FORCE MAIN ALIGNMENT (MINIMUM 200' SPACING)
5. THREE COPIES OF INSPECTION LOGS, AND DIGITAL INFORMATION OF TV INSPECTION SHALL BE DELIVERED TO THE DISTRICT.
6. ALL SANITARY LATERALS, VALVE BOXES, CURB BOXES SHALL BE WITNESSED WITH A 7' METAL "T" FENCE POST PAINTED FLUORESCENT GREEN, HAVING 4' EXPOSED ABOVE GROUND. A 5' LONG NO. 5 REBAR SHALL BE PLACED ACROSS THE END OF EACH LATERAL.
7. SANITARY SEWER LATERALS SHALL BE CONSTRUCTED OF THE SAME MATERIAL AS THE SEWER MAIN.

GENERAL NOTES:

1. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY COMPANIES AND VERIFY THEIR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR DAMAGES TO THE EXISTING UTILITIES THAT MAY OCCUR DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BY CALLING BUD (BEFORE YOU DIG) AT 800-752-6007. ADDITIONAL UTILITIES NOT COVERED BY BUD SHOULD BE NOTIFIED FOR LOCATIONS.
3. REFER TO THE CITY OF NICHOLASVILLE GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF WATER FACILITIES, SEWERAGE FACILITIES, STREETS, AND STORM DRAINAGE FACILITIES, FOR MATERIALS, INSTALLATIONS METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS (SEE DUAL SPECIFICATIONS NOTE).
4. ANY UNSUITABLE PIPE SUBGRADE MATERIAL ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL.
5. EXISTING FENCES, WALLS, TREES OR OTHER VEGETATION AND IMPROVEMENTS SHOULD BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT POSSIBLE. TREES WHICH ARE ANTICIPATED TO BE DAMAGED SHALL BE FLAGGED AND REVIEWED WITH THE ENGINEER PRIOR TO PROCEEDING WITH ADJACENT WORK. THE CONTRACTOR SHALL RESTORE EXISTING IMPROVEMENTS TO CONDITIONS EQUAL TO PRE-CONSTRUCTION CONDITIONS. DAMAGED TREES NOT APPROVED FOR REMOVAL SHALL BE REPLACED BY THE CONTRACTOR. FENCES REMOVED SHALL BE RESET AFTER ADJACENT CONSTRUCTION IS COMPLETE.
6. ALL CONSTRUCTION AND SITE RESTORATION SHALL BE IN CONFORMANCE WITH CURRENT KENTUCKY TRANSPORTATION CABINET STANDARDS AND GUIDELINES.
7. FOR EROSION CONTROL PURPOSES, CONTRACTOR SHALL STOCKPILE EXCAVATED TRENCH MATERIAL ON THE UPHILL SIDE (OPPOSITE OF STREAMS, DITCHES, FLOW LINES, ETC.) OF EXPOSED TRENCH.
8. EXCAVATION IS UNCLASSIFIED. THERE SHALL BE NO SEPARATE PAYMENT FOR ROCK EXCAVATION.
9. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING MANHOLES AND PIPES PRIOR TO CONSTRUCTION.

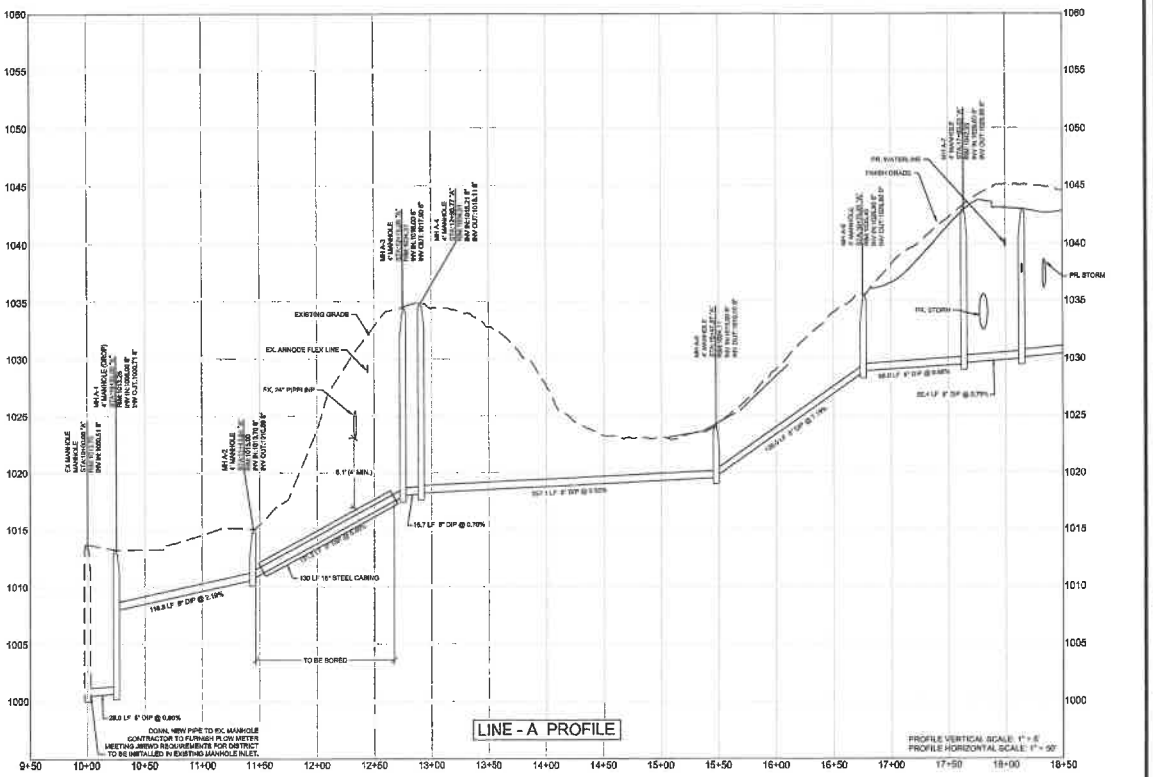
DUAL SPECIFICATIONS NOTE

SANITARY SEWER SERVICE TO THIS DEVELOPMENT SHALL BE PROVIDED BY JESSAMINE SOUTH ELKHORN WATER DISTRICT. FUCO AND ALL WORK SHALL BE COMPLETED FOLLOWING THEIR SPECIFICATIONS. HOWEVER, AS THIS PROPERTY IS ANNEXED INTO THE CITY OF NICHOLASVILLE, THE CITY OF NICHOLASVILLE GENERAL SPECIFICATIONS SHALL ALSO APPLY TO THIS DEVELOPMENT. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY. SEE JESSAMINE SOUTH ELKHORN GENERAL NOTES.

SANITARY SEWER PLAN

SCALE: 1"=50'-0"

NORTH 0 25 50 100



STATE OF KENTUCKY
AUSTIN D. SWINEY
35950
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1501 PAYNE STREET, LOUISVILLE, KY 40206

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PLAT CABINET 7; SLIDE 196-A
1860 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SANITARY SEWER PLAN

BANKS
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SHEET	DATE	REVISIONS	
7A	09/23/2024	1	
		2	
JOB# 23153		3	
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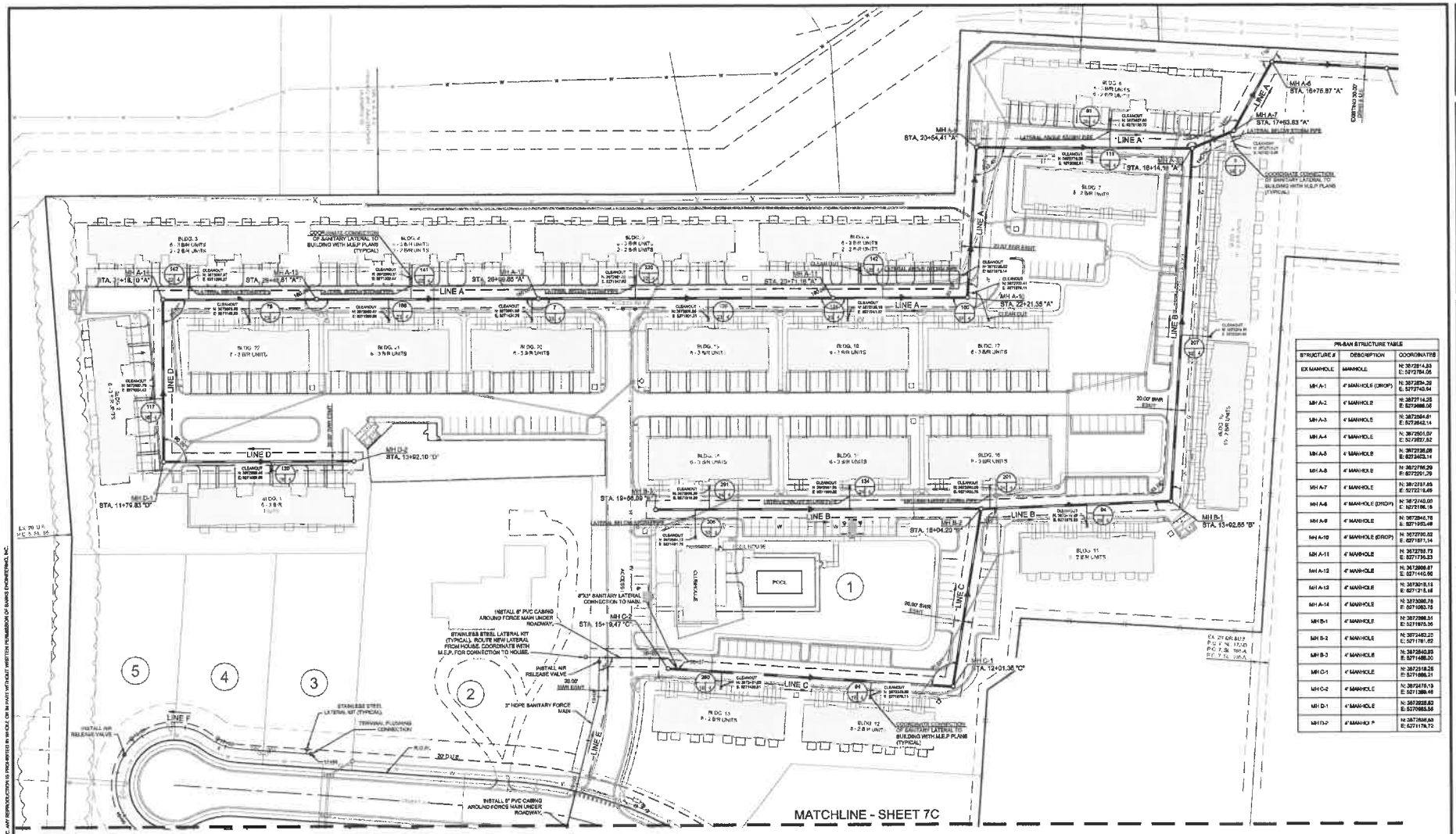
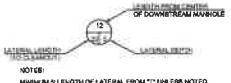
Drawing: 23153_07_Sanitary Sewer Plan.dwg



PRI-BAN STRUCTURE TABLE		
STRUCTURE #	DESCRIPTION	COORDINATES
EX MANHOLE	MANHOLE	N: 3872814.83 E: 5272784.06
MH A-1	4" MANHOLE (DROP)	N: 3872834.29 E: 5272740.94
MH A-2	4" MANHOLE	N: 3872714.25 E: 5272666.06
MH A-3	4" MANHOLE	N: 3872664.61 E: 5272642.14
MH A-4	4" MANHOLE	N: 3872501.97 E: 5272837.82
MH A-5	4" MANHOLE	N: 3872336.08 E: 5272403.14
MH A-6	4" MANHOLE	N: 3872786.29 E: 5272291.20
MH A-7	4" MANHOLE	N: 3872757.45 E: 5272216.46
MH A-8	4" MANHOLE (DROP)	N: 3872740.00 E: 5272196.16
MH A-9	4" MANHOLE	N: 3872845.76 E: 5271953.49
MH A-10	4" MANHOLE (DROP)	N: 3872790.02 E: 5271871.14
MH A-11	4" MANHOLE	N: 3872758.73 E: 5271730.23
MH A-12	4" MANHOLE	N: 3872808.87 E: 5271440.06
MH A-13	4" MANHOLE	N: 3873018.13 E: 5271218.14
MH A-14	4" MANHOLE	N: 3873086.76 E: 5271063.75
MH B-1	4" MANHOLE	N: 3872898.51 E: 5271973.36
MH B-2	4" MANHOLE	N: 3873482.20 E: 5271781.02
MH B-3	4" MANHOLE	N: 3873840.95 E: 5271488.00
MH C-1	4" MANHOLE	N: 3872318.25 E: 5271888.31
MH C-2	4" MANHOLE	N: 3872476.13 E: 5271389.46
MH D-1	4" MANHOLE	N: 3872858.60 E: 5270985.56
MH D-2	4" MANHOLE P	N: 3873098.60 E: 5271178.72

LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY FORCE MAIN
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED SANITARY LATERAL WITH CLEANOUT



NOTES:

MINIMUM 5' LENGTH OF LATERAL FROM "Y" UNLESS NOTED OTHERWISE. LATERAL TO BE LAID ON A 1.00% SLOPE UNLESS OTHERWISE NOTED.

SANITARY SEWER LATERALS SHALL BE CONSTRUCTED OUT OF THE SAME MATERIAL AS THE SEWER MAIN.

MANHOLES ARE 4' DIAMETER UNLESS OTHERWISE NOTED.

SEWER LATERAL DETAIL

SANITARY SEWER PLAN

SCALE: 1"=50'-0"

NORTH 0 25 50 100

STATE OF KENTUCKY AUSTIN D. SWINEY 35609 LICENSED PROFESSIONAL ENGINEER 9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SANITARY SEWER PLAN

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DRAWN: AJS/KJH
CHECKED: JDB

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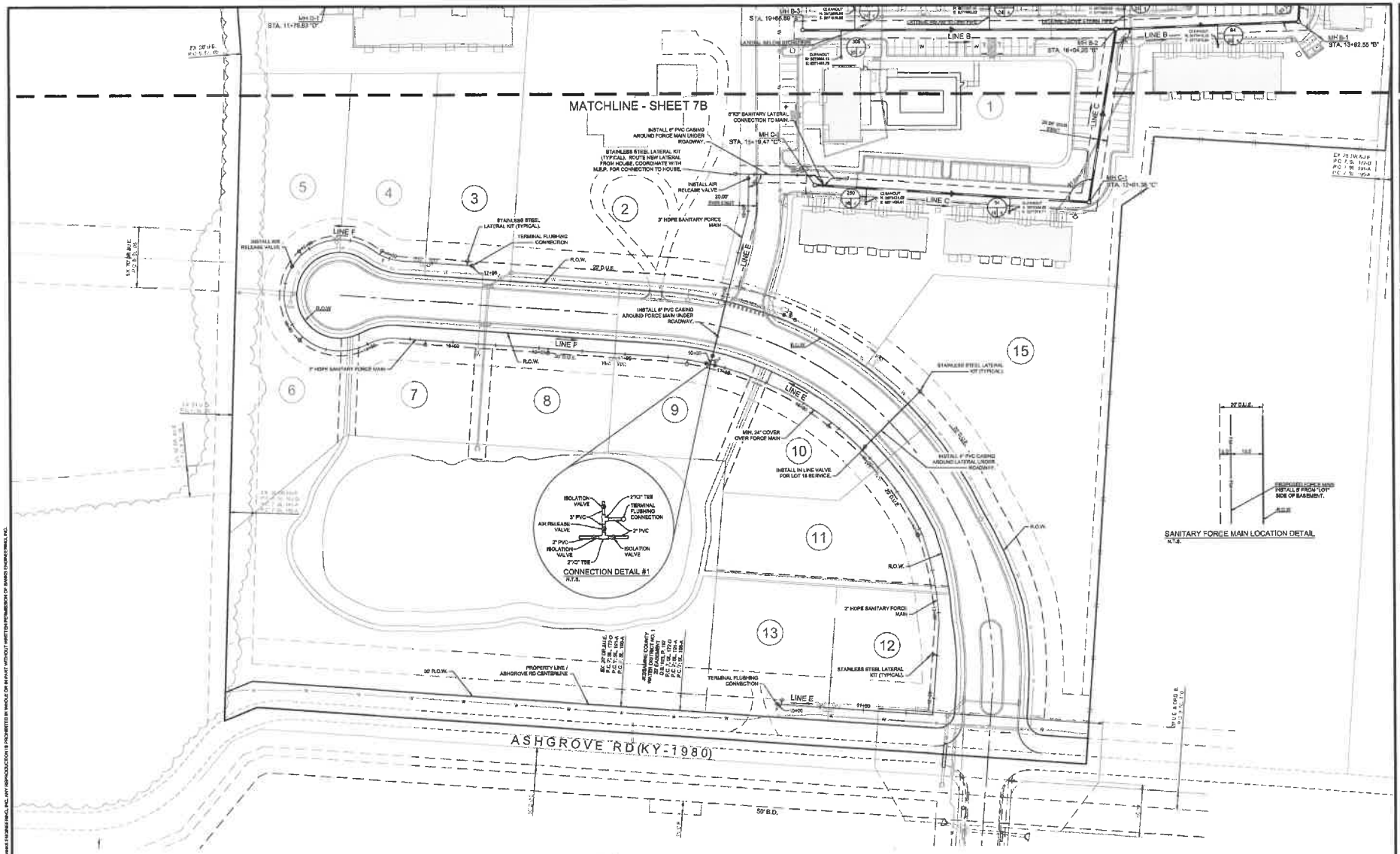

SANITARY SEWER PLAN - RESIDENTIAL

SCALE: 1"=50'-0"

NORTH

0 25 50 100

LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY FORCE MAIN
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED SANITARY LATERAL WITH CLEANOUT

SANITARY FORCE MAIN NOTES

1. REFER TO SHEET 7G FOR SANITARY FORCE MAIN DETAILS.
2. REFER TO SHEET 7E FOR SANITARY FORCE MAIN PROFILES.
3. CLASS I LIMESTONE SAND SHALL BE USED AS BEDDING AND BACKFILL AROUND FORCE MAIN.
4. ALL VALVES AND FITTINGS SHALL BE FULLY BRASS OR STAINLESS STEEL.

STATE OF KENTUCKY
AUSTIN D. SWINEY
38808
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1501 PAYNE STREET, LOUISVILLE, KY 40206

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SANITARY SEWER PLAN - RESIDENTIAL

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SHEET 7C
JOB# 23153
DRWN. ADS/AJH
DESIG. JDB

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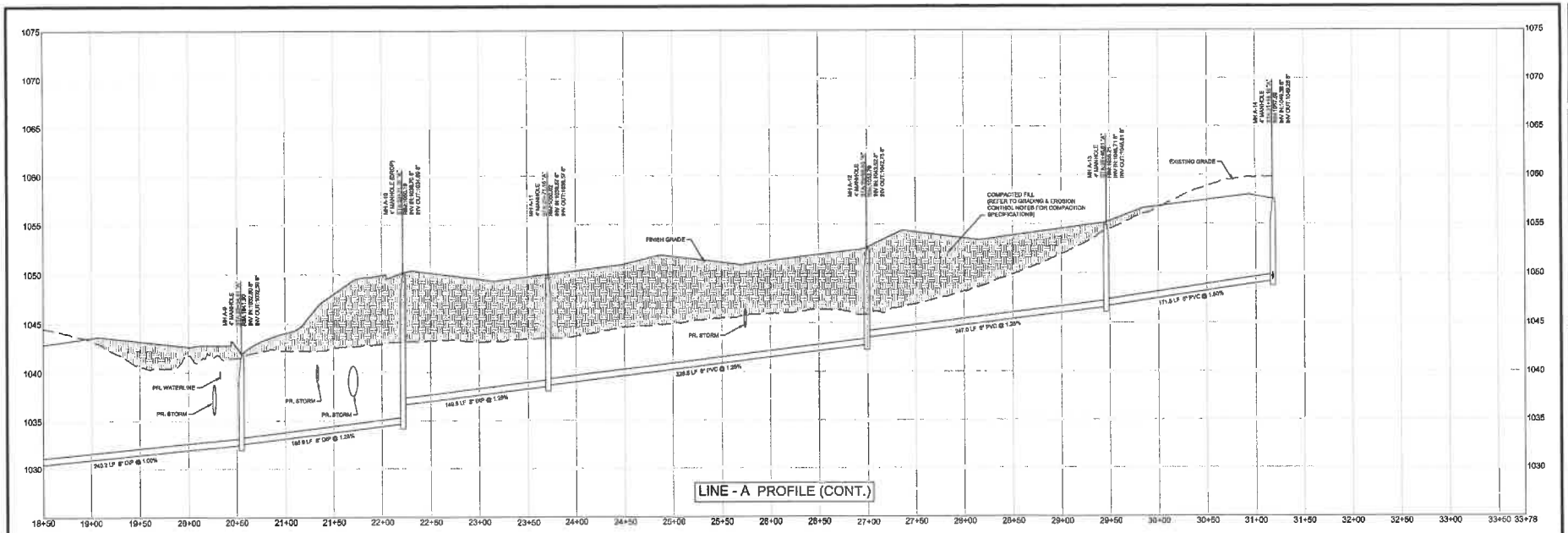
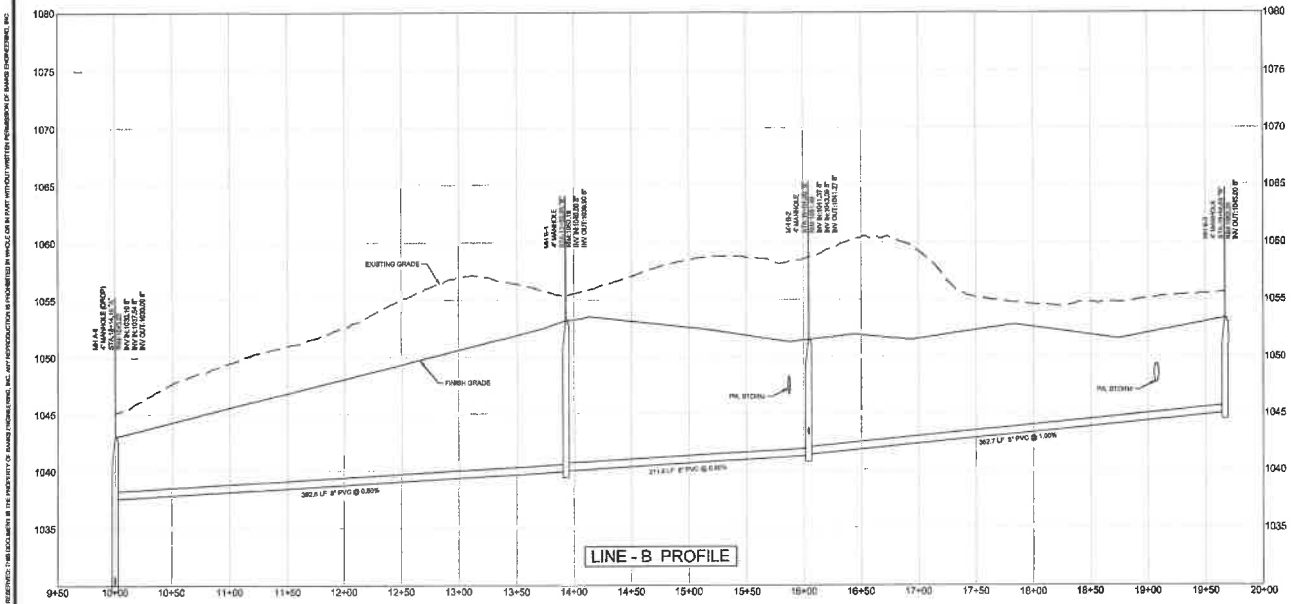
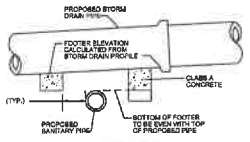
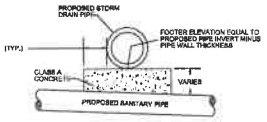






SIDE VIEW



FRONT VIEW

NOTE - PIPE SUPPORTS SHALL BE USED WHEN PROPOSED STORM DRAIN PIPES HAVE LESS THAN 6 INCHES OF VERTICAL CLEARANCE BETWEEN OUTER WALL TO OUTER WALL OF STORM AND SANITARY PIPES.

UTILITY CROSSING NOTE:

LFUCG REQUIRES THIS SANITARY SEWER TRENCH TO BE BACKFILLED WITH GRAVEL UP TO THE STORM SEWER AND PIER SUPPORTS ON EACH SIDE OF THE SANITARY SEWER TRENCH TO SUPPORT THE STORM PIPE.

PROFILE VERTICAL SCALE: 1" = 5'
PROFILE HORIZONTAL SCALE: 1" = 50'

STATE OF KENTUCKY
AUSTIN D. GWINEY
30506
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

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SANITARY SEWER PROFILES

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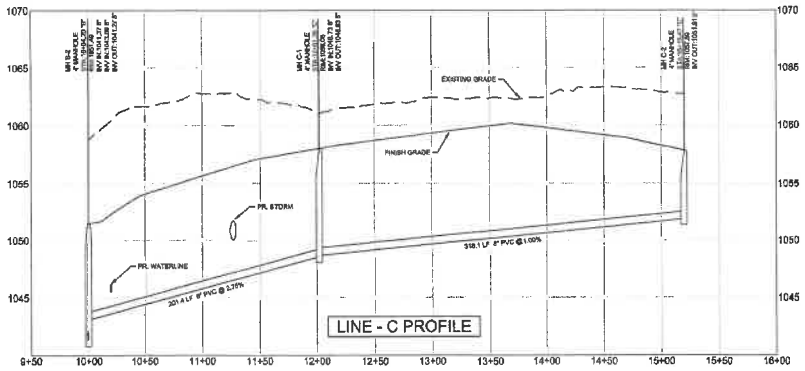

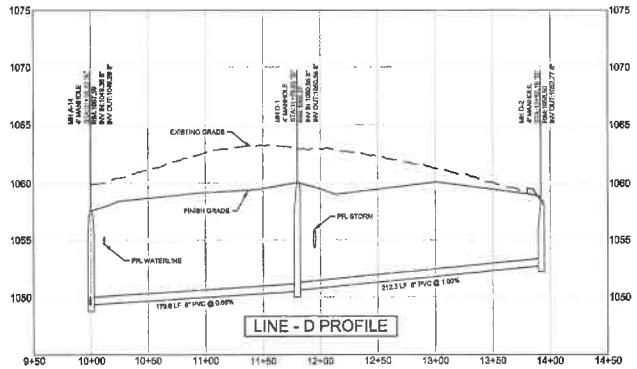

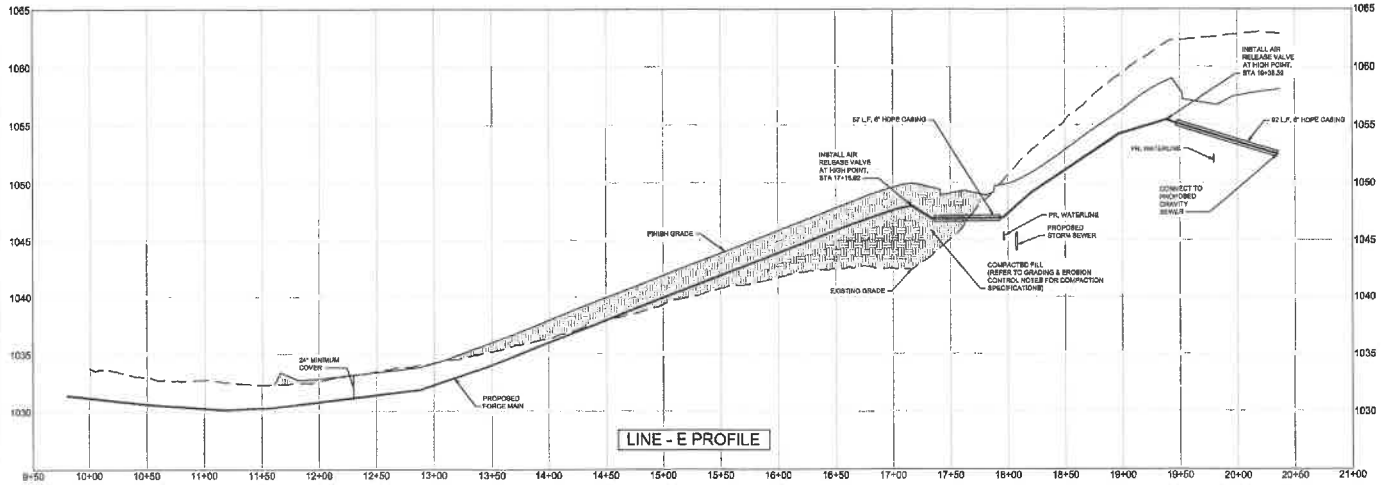

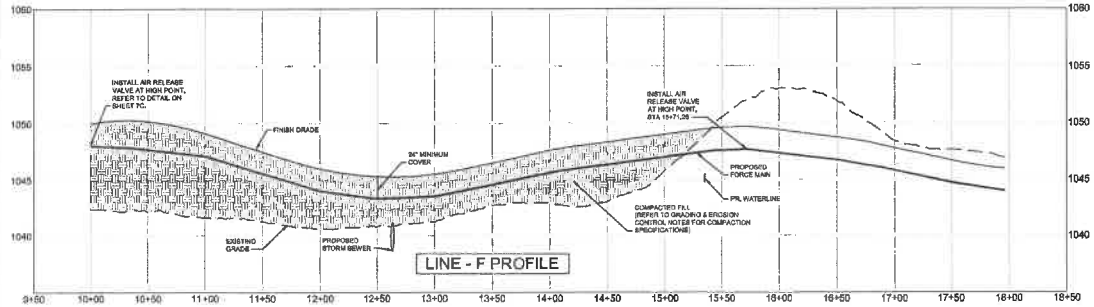

REFER TO UTILITY CROSSING NOTES & DETAIL ON SHEET 7D

PROFILE VERTICAL SCALE: 1" = 5'
PROFILE HORIZONTAL SCALE: 1" = 50'

STATE OF KENTUCKY
AUSTIN D. SWINEY
36808
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1901 PAYNE STREET, LOUISVILLE, KY 40206

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SANITARY SEWER PROFILES

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GENERAL CONDITIONS

THE "OWNER" IN THE GENERAL NOTES SHALL REFER TO ASHGROVE FARMS LLC, 502-287-8130

THE PROJECT ENGINEER IS: AUSTIN SWINEY, BANKS ENGINEERING (859)-881-0020. THE TERM "ENGINEER" IN THE GENERAL NOTES SHALL REFER TO THE JSWED CONSULTING ENGINEER.

REFER TO THE GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF WATER FACILITIES, SEWERAGE FACILITIES, STREETS, STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR PROPOSED WATERMAIN EXTENSION, AND STORM DRAINAGE FACILITIES, NICHOLASVILLE, KENTUCKY AND THE SUBDIVISION REGULATIONS FOR JESSAMINE COUNTY FOR MATERIALS INSTALLATION METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS. JSEWD STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR WATERMAIN AND SEWER EXTENSIONS, AND LFUCG SANITARY AND STORM SEWER MANUALS AND SPECIFICATIONS. IN ANY EVENT OF A CONFLICT THE MORE STRINGENT WILL APPLY.

ANY CHANGES FROM THE APPROVED PLANS SHALL BE SUBMITTED IN WRITING TO AND APPROVED BY THE PLANNING COMMISSION OR THE JESSAMINE SOUTH ELKHORN WATER DISTRICT, AS APPLICABLE, PRIOR TO THE WORK BEING DONE.

PRIOR TO THE MOBILIZATION OF EQUIPMENT, A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON SITE ATTENDED BY THE CONTRACTOR, THE PROJECT ENGINEER, THE OWNER, THE NICHOLASVILLE CITY ENGINEER, THE PLANNING COMMISSION AND THE JESSAMINE SOUTH ELKHORN WATER DISTRICT.

WITHIN 10 DAYS FOLLOWING THE PRECONSTRUCTION CONFERENCE, A PROJECT SCHEDULE SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, THE PLANNING COMMISSION, THE JESSAMINE SOUTH ELKHORN WATER DISTRICT.

UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS, RUBBISH AND OTHER DEBRIS RESULTING FROM THE WORK.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL, RUBBISH AND DEBRIS FROM AND ABOUT THE PREMISES AS WELL AS ALL TOOLS, APPLIANCES, CONSTRUCTION EQUIPMENT AND MACHINERY AND SURPLUS MATERIALS, AND SHALL LEAVE THE SITE CLEAN AND READY FOR OCCUPANCY BY THE OWNER

THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR HIS EMPLOYEES AND SUBCONTRACTORS. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY AND PROPERLY REMOVE THESE SANITARY FACILITIES.

SUBMITTALS

THE CONTRACTOR SHALL PROVIDE MATERIAL CERTIFICATIONS FOR ALL MATERIALS USED ON THE PROJECT INCLUDING STORM AND SANITARY SEWERS.

THE CONTRACTOR SHALL, WHERE APPLICABLE, PROVIDE SHOP DRAWINGS FOR MATERIALS USED ON THE PROJECT, WHICH SHALL BE FORWARDED ELECTRONICALLY TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING

THE PROJECT ENGINEER SHALL FORWARD SHOP DRAWINGS TO THE JESSAMINE SOUTH ELKHORN WATER DISTRICT AND PLANNING COMMISSION.

THE CONTRACTOR SHALL RECORD THE SIZE, LOCATION, LENGTH, AND DEPTH OF ALL STORM, SANITARY, AND WATER SERVICES INSTALLED BY HIM UPON A SET OF DRAWINGS SUPPLIED TO HIM BY THE PROJECT ENGINEER SPECIFICALLY FOR THIS PURPOSE. THE DRAWING SHALL BE RETURNED TO THE ENGINEER WHEN ALL INFRASTRUCTURES HAVE BEEN INSTALLED.

STANDARDS OF CONSTRUCTION

JESSAMINE COUNTY, JESSAMINE SOUTH ELKHORN WATER DISTRICT AND KENTUCKY DEPARTMENT OF HIGHWAYS SPECIFICATIONS. ALL LATEST EDITIONS SHALL APPLY TO THE WORK DESCRIBED WITHIN THESE PLAN DOCUMENTS UNLESS SPECIFICALLY DIRECTED BY NOTE OTHERWISE

UTILITY LOCATIONS/BEFORE YOU DIG

THE CONTRACTOR IS ADVISED THAT UTILITY LOCATIONS SHOWN WITHIN THESE PLAN DOCUMENTS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO BEGINNING WORK. THE ULTIMATE RESPONSIBILITY FOR UNDERGROUND UTILITY LOCATIONS IS THE CONTRACTOR'S.

THE CONTRACTOR IS ADVISED THAT HE SHALL CONTACT KENTUCKY 811, AND/OR NON MEMBER KENTUCKY 811 UTILITIES, A MINIMUM OF 2 BUSINESS DAYS PRIOR TO EXCAVATION TO REQUEST INFORMATION ON THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL USE ALL POSSIBLE CARE IN EXCAVATING ON THE PROJECT TO AVOID DAMAGE TO EXISTING UTILITIES, WHETHER OR NOT THE UTILITIES ARE OR ARE NOT LOCATED ON THE PLANS. EXISTING UTILITIES AND LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND RESTORATION OF ALL UTILITIES AT NO ADDITIONAL COSTS

CONSTRUCTION LAYOUT

CONSTRUCTION STAKING TO BE PROVIDED BY THE OWNER UNLESS ALTERNATE STAKING PLAN APPROVED BY OWNER IN ADVANCED

EXCAVATION

ALL EXCAVATION FOR THE PROJECT WHETHER TRENCH OR MASS SHALL BE CONSIDERED AS UNCLASSIFIED. CONTRACTOR SHALL TAKE ALL STEPS, INVESTIGATIONS, AND PROCEDURES HE DEEMS NECESSARY TO SATISFY HIMSELF OF LOCATION, TYPE, AND QUANTITY OF ROCK MATERIAL TO BE ENCOUNTERED.

ROCK EXCAVATION

SHOULD ROCK REMOVAL BE PERFORMED BY BLASTING, THE CONTRACTOR SHALL PERFORM ALL OPERATIONS IN STRICT CONFORMANCE WITH ALL APPLICABLE LAWS.

CLEARING, GRUBBING AND REMOVAL

PRIOR TO COMMENCEMENT OF CLEARING, GRUBBING AND REMOVALS, ANY AREAS DESIGNATED ON THE PLANS OR BY THE ENGINEER AS "TREE PRESERVATION AREAS" OR "DO NOT DISTURB AREAS" SHALL BE DESIGNATED WITH ORANGE SAFETY FENCE OR SECURITY TAPE AS DIRECTED BY THE ENGINEER

THE ENTIRE AREA WITHIN THE CONSTRUCTION LIMITS SHALL BE CLEARED OF ALL WEEDS, BRUSH, BRIARS, TREES, STUMPS, AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN, EXCEPT WITHIN AREAS THE ENGINEER MAY DESIGNATE TO REMAIN UNDISTURBED.

ALL BUSHES, TREES, ROOTS AND STUMPS WITHIN THE CONSTRUCTION LIMITS SHALL BE GRUBBED EXCEPT UNDISTURBED STUMPS, ROOTS AND NONPERISHABLE SOLID OBJECTS WHICH WILL BE A MINIMUM OF THREE FEET BELOW THE SUBGRADE OR EMBANKMENT FOUNDATION

GEOTECHNICAL NOTES

ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE LIMITS OF ANY PROPOSED CONSTRUCTION ACTIVITIES. PROOF ROLL THE EXPOSED SURFACE OF ANY ANTICIPATED FILL AREA AND OR PAVEMENT AREA TO DETERMINE IF ANY UNSTABLE SOIL CONDITIONS EXIST.

EQUIPMENT USED FOR PROOF ROLLING SHALL BE A LOADED PNEUMATIC TIRED VEHICLE SUCH AS A DUAL AXLE DUMP TRUCK WITH A MINIMUM LOADED GROSS WEIGHT OF 27 TONS

IF ANY UNSTABLE AREAS ARE EXPOSED BY PROOF ROLLING, THOSE AREAS SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED MATERIAL, OR AS DIRECTED BY THE ENGINEER

SOILS PLACED AS FILL OR BACKFILL WITHIN THE PROPOSED SITE SHALL BE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT WITHIN -4 TO +2 PERCENT OF OPTIMUM.

A SHEEPSFOOT ROLLER SHALL BE USED TO COMPACT COHESIVE FILL MATERIAL AND A SMOOTH DRUM VIBRATORY ROLLER USED FOR GRANULAR SOILS. A HAND WHACKER OR VIBRATORY PLATE SHALL BE USED TO COMPACT BACKFILL ADJACENT TO FOUNDATIONS AND UTILITY TRENCH BACKFILLS

SHOT ROCK OR MECHANICALLY EXCAVATED ROCK MAY BE USED FOR TRENCH FILL MATERIAL AS LONG AS THE LARGEST DIMENSION IN ANY DIRECTION OF THE ROCK FRAGMENT DOES NOT EXCEED 8 INCHES. LIFT THICKNESSES SHALL NOT EXCEED 12 INCHES

EVALUATION OF ROCK FILL PLACEMENT AND THE INTEGRITY OF THE ROCK FILL SHALL BE DETERMINED BY VISUAL INSPECTION OF THE PLACEMENT PROCEDURES BY A QUALIFIED TECHNICIAN WORKING UNDER THE SUPERVISION OF A PROFESSIONAL GEOTECHNICAL ENGINEER.

THE USE OF A SOIL/SHOT ROCK MIXTURE WITH MORE THAN 20 PERCENT SOIL FOR FILL CONSTRUCTION SHALL BE LIMITED TO NONSTRUCTURAL AREAS OF THE SITE.

SOIL USED FOR STRUCTURAL FILL SHALL BE PLACED IN LAYERS NO GREATER THAN 8 INCHES IN LOOSE THICKNESS AND COMPACTED TO THE LIMITS PREVIOUSLY MENTIONED.

IN AREAS WHERE THE DENSITY IS ACHIEVED THROUGH THE USE OF HAND OPERATED EQUIPMENT, LOOSE LIFT THICKNESS SHALL NOT EXCEED 4 INCHES.

TESTS FOR THE DEGREE OF COMPACTION FOR SOIL SHALL BE MADE ON EACH LAYER BEFORE PLACEMENT OF THE NEXT LAYER.

ALL TESTING OF EMBANKMENT OR BACKFILL SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE GEOTECHNICAL FIRM TO INSURE THAT ALL EMBANKMENT OR BACKFILL IS TESTED AND MEETS THE REQUIREMENTS OF THESE STANDARDS AND SPECIFICATIONS

IF SINKHOLES ARE FOUND PRIOR TO OR DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITIES IN THE SINKHOLE VICINITY SHALL CEASE AND THE ENGINEER OF RECORD NOTIFIED. CONSTRUCTION ACTIVITIES NEAR THE SINKHOLE SHALL NOT RESUME UNTIL DIRECTED SO BY THE ENGINEER.

EXCAVATION

EXCAVATION SHALL INCLUDE THE REMOVAL AND DISPOSAL OF MISCELLANEOUS STRUCTURES REMOVED FROM WITHIN THE CONSTRUCTION LIMITS SUCH AS, BUT NOT LIMITED TO, ALL TYPES OF PAVEMENT AND PAVEMENT BASES, WHETHER RIGID OR FLEXIBLE, SIDEWALK, CURBS AND GUTTERS, CONDUITS THAT HAVE NO SALVAGE VALUE, SUCH AS DRAINAGE PIPES, SANITARY SEWER PIPE WATERLINES, AND OTHER UNSERVICEABLE UTILITY LINES.

THE PLANS MAY, OR MAY NOT, INDICATE THE EXACT LOCATIONS OF THE VARIOUS TYPES AND QUANTITIES OF THESE MISCELLANEOUS ITEMS TO BE REMOVED AND DISPOSED OF. HOWEVER, IT IS THE INTENT OF THESE SPECIFICATIONS THAT THE REMOVAL OF ANY SUCH ITEMS THAT FALL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE CONSIDERED UNCLASSIFIED.

EXCEPT AS OTHERWISE SPECIFICALLY STATED, EXCAVATION SHALL INCLUDE INLET AND OUTLET DITCHES, REGARDLESS OF THE CLASSIFICATION OF THE MATERIAL ENCOUNTERED.

WITHOUT REGARD TO THE MATERIALS ENCOUNTERED, ALL EXCAVATION SHALL BE UNCLASSIFIED. IT SHALL BE DISTINCTLY UNDERSTOOD THAT ANY REFERENCE TO ROCK, EARTH OR ANY OTHER MATERIAL ON THE PLANS OR CROSS SECTIONS, WHETHER IN NUMBERS, WORDS, LETTERS, OR LINES IS SOLELY FOR INFORMATION AND SHALL NOT BE TAKEN AS AN INDICATION OF CLASSIFIED EXCAVATION OR THE QUANTITY OF ROCK, EARTH OR OTHER MATERIAL INVOLVED

THE CONTRACTOR SHALL DRAW HIS OWN CONCLUSIONS AS TO THE CONDITIONS TO BE ENCOUNTERED. THE OWNER OR THE ENGINEER DOES NOT GIVE ANY GUARANTEE AS TO THE ACCURACY OF THE DATA AND NO CLAIM WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION WHEN THE MATERIALS ENCOUNTERED ARE NOT IN ACCORD WITH THE CLASSIFICATION SHOWN.

GEOLOGICAL FEATURES MAY BE PRESENT ON THIS PROPERTY. THESE FEATURES, IF IDENTIFIED WILL BE THOROUGHLY SURVEYED AND TESTED BY A GEOTECHNICAL ENGINEERING FIRM. ANY RECOMMENDATIONS FOR THESE AREAS WILL BE ADDRESSED WITH REVISIONS TO THE CONSTRUCTION PLANS.

ALL SUITABLE MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED, IN SO FAR AS PRACTICAL, IN THE FORMATION OF EMBANKMENTS, SUBGRADE, SHOULDERS, BACKFILL FOR STRUCTURES, OR FOR OTHER PURPOSES SHOWN ON THE PLANS OR AS DIRECTED.

NO EXCAVATED MATERIAL SHALL BE WASTED WITHOUT PERMISSION. EXCAVATED MATERIAL IN EXCESS OF THAT REQUIRED FOR NORMAL EMBANKMENT CONSTRUCTION SHALL BE WASTED WITHIN THE PROJECT LIMITS, WHERE AND HOW AS SPECIFICALLY DIRECTED OR APPROVED BY THE ENGINEER.

SITE GRADING NOTES

1. ALL SPOT ELEVATIONS INDICATE FINISH GRADE OF SURFACE. ADJUSTMENTS MUST BE MADE TO ESTABLISH GRADES OF SUB-BASE OR SUBGRADE.

2. CONTRACTOR SHALL, BEFORE STARTING SITE EXCAVATION, STRIP ALL TOPSOIL FROM PORTIONS OF THE SITE TO BE DEVELOPED AND STORE IN A LOCATION THAT WILL NOT INTERFERE WITH SITE DEVELOPMENT OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING TOPSOIL IN FINISH GRADE AREAS, BACKFILLING CURBS, SIDEWALKS, ETC

3. SHOULD CONTRACTOR ENCOUNTER ROCK EXCAVATION, THE ROCK SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW FINISHED GRADE UNDER THE VEGETATIVE AREAS. REFILL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL NOTES

4. THE OVERLOT RE-GRADE LINES SHOWN HEREON ARE FOR DETERMINING DRAINAGE LIMITS AND ARE SUBJECT TO REVISION DURING CONSTRUCTION. GENERAL DRAINAGE PATTERNS WILL BE MAINTAINED. SPECIFIC OVERLOT GRADES MAY VARY.

STORM DRAINAGE FACILITES NOTES

STORM SEWER PIPE SHALL BE DESIGNATED ON THE APPROVED CONSTRUCTION PLANS, AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS
BEDDING AND BACKFILL SHALL CONSIST OF THE FOLLOWING:

1. WHEN THE TRENCH EXCAVATION IS IN ROCK, THE PIPE SHALL BE BEDDED ON AT LEAST 6 INCHES OF NO. 9 OR NO. 68 CRUSHED STONE, AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THIS CUSHION SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 12 INCHES IN ANY DIMENSION

2. WHEN THE TRENCH EXCAVATION IS IN SOIL, THE PIPE SHALL BE BEDDED ON AT LEAST 6 INCHES OF NO. 9 OR NO. 68 CRUSHED STONE AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE TO THE TOP OF THE PIPE. THE REMAINING PORTION OF THE TRENCH NOT LOCATED WITHIN A STREET, CAN BE BACKFILLED WITH SELECT SOIL CONTAINING NO ROCKS.

3. WHEN THE TRENCH EXCAVATION IS WITHIN A STREET (i.e., BACK OF CURB TO BACK OF CURB), THEN THE ENTIRE TRENCH SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE

MANHOLES SHALL BE CONSTRUCTED OF PRECAST CONCRETE AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS. ALL MANHOLE TOPS SHALL BE ECCENTRIC IN DESIGN. CONICAL TOPS SHALL BE USED FOR ALL MANHOLES WITH DEPTHS SUFFICIENT FOR THEIR USE. MINOR GRADE ADJUSTMENTS (THROUGH THE USE OF GRADE RINGS) TO THE RIM ELEVATION SHALL NOT EXCEED 12 INCHES. NO MORE THAN 2 GRADE RINGS SHALL BE PERMITTED. BITUMINOUS MASTIC SEALANT SHALL BE USED AT EACH JOINT OF THE MANHOLE AND BETWEEN ALL GRADE RINGS AND/OR CASTINGS. NON-SHRINK (HYDRAULIC) GROUT SHALL BE REQUIRED INSIDE THE MANHOLES WHERE THE PIPES, INCLUDING LATERALS, ENTER AND EXIT, ALL JOINTS, AND LIFT EYES

HEADWALLS AND OTHER CONCRETE STRUCTURES SHALL BE AS DESIGNATED ON THE APPROVED CONSTRUCTION PLANS, AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS. ALL HEADWALLS 36" OR HIGHER SHALL HAVE CHAIN LINK FENCE INSTALLED ON TOP.

DRAINAGE SWALES AND DETENTION BASINS SHALL CONFORM TO THE GENERAL SPECIFICATIONS. DRAINAGE SWALES SHALL BE SODDED TO THE ELEVATION OF THE 25-YEAR FREQUENCY STORM. THE BOTTOM, TOP, AND SIDE SLOPES OF DETENTION BASINS SHALL BE SODDED.

AS-BUILT FIELD SURVEY SHALL BE AUTOCAD FORMAT AND SHALL INCLUDE A POINT COORDINATE FILE WITH VERTICAL ELEVATIONS INCLUDING:

A. CATCH BASINS, RIM AND INVERT
B. STORM MANHOLES, RIM AND INVERT
C. HEADWALL INVERTS
D. SURFACE INLET, TOP OF GRATE AND INVERT
E. TOPO OF DETENTION/RETENTION BASIN
F. CONTROL MONUMENTS AND COORDINATES

STORM MANHOLES FOR PIPES 60 INCHES OR SMALLER IN DIAMETER SHALL REQUIRE IMPROVED INVERTS

SANITARY SEWERS

UNLESS OTHERWISE NOTED, ALL PVC SANITARY SEWERS SHALL BE PVC SDR 35 AND ALL DUCTILE IRON SANITARY SEWERS SHALL BE CLASS 350.

ALL SANITARY SEWER LATERALS SHALL BE 6" AND ALL LATERALS SHALL HAVE A CLEANOUT.

ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED A MINIMUM OF 5' OUTSIDE THE RIGHT-OF-WAY OR EASEMENT LINE.

ALL SANITARY LATERALS SHALL BE WITNESSED WITH A 7' METAL "T" FENCE POST PAINTED FLORESCENT GREEN, HAVING 4' EXPOSED ABOVE GROUND. A 5' LONG NO. 5 REBAR SHALL BE PLACED ACROSS THE END OF EACH LATERAL. (SEE DETAILS)

ALL SANITARY AND STORM SEWER MANHOLES SHALL BE 4' IN DIAMETER, UNLESS OTHERWISE NOTED, AND MARKED WITH A 7' METAL "T" FENCE POST PAINTED FLORESENT GREEN, HAVING 4' EXPOSED ABOVE GROUND

ALL MAIN CONSTRUCTION INTO MANHOLES MUST BE FACTORY INSTALLED WITH (A-LOCK OR EQUAL) WATER STOPS. NO MORE THAN 4 PENETRATIONS SHALL BE ALLOWED PER MANHOLE. NO GREATER THAN A 2 FEET ELEVATION CHANGE SHALL BE ALLOWED WITHIN THE MANHOLE. CHANGES GREATER THAN 2 FEET SHALL BE A DROP MANHOLE.

ALL PVC SANITARY SEWERS SHALL BE SUBJECTED TO A LOW PRESSURE AIR TEST. THE LOW PRESSURE AIR TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED UNDER THE DIRECTION OF THE JESSAMINE SOUTH ELKHORN WATER DISTRICT. TEST SHALL COMPLY WITH UNI-BALL UNI-B-6-98 SPECIFICATION

ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED. THE TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED UNDER THE DIRECTION OF THE JESSAMINE SOUTH ELKHORN WATER DISTRICT.

ALL SANITARY SEWERS, INCLUDING LATERALS SHALL BE SUBJECTED TO A TV TEST INSPECTION. THE TEST SHALL BE PERFORMED UNDER THE DIRECTION OF THE JESSAMINE SOUTH ELKHORN WATER DISTRICT.

ALL SANITARY SEWERS SHALL BE JET FLUSHED PRIOR TO T.V INSPECTION (BOTH PUNCH LIST AND WARRANTY) AND TESTING. THE FLUSHING SHALL BE THE CONTRACTORS RESPONSIBILITY.

ALL FLUSHING, AIR TESTING, VACUUM TESTING, AND HYDROSTATIC TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPAIRS, REINSPECTION (TV, AIR TEST, VACUUM TEST) AND CLEANING OF THE GRAVITY SEWERS DUE TO RESULTS FROM THE INITIAL INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

SEWER MANHOLES SHALL NOT BE COVERED BY ANY CONSTRUCTION OPERATION

SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM
THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.

ALL BURIED DUCTILE IRON PIPE SHALL HAVE MANUFACTURER'S OUTSIDE COAL TAR OR ASPHALTIC BASE COATING AND SHALL BE COATED WITH PROTECTO 401 CERAMIC EPOXY IN ACCORDANCE WITH THE LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT SANITARY SEWER SPECIFICATIONS

PRIOR TO WARRANTY INSPECTION ALL SANITARY AND STORM SEWERS SHALL BE FLUSHED, VIDEO INSPECTED AND ALL DEFECTS CORRECTED, INCLUDING LATERAL FROM HOUSE CLEANOUT TO SEWER MAIN.

ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF JESSAMINE SOUTH ELKHORN WATER DISTRICT, LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT, AND CITY OF NICHOLASVILLE (WHERE APPLICABLE). IN CASE OF CONFLICT, THE MORE STRINGENT (AS DETERMINED BY THE DISTRICT), SHALL APPLY.

FOR THOSE LINES THAT ARE INDICATED TO BE PLACED IN AREAS OF EMBANKMENT CONSTRUCTION, PRIOR TO BEGINNING INSTALLATION OF SAID MAINS, COPIES OF WRITTEN REPORTS FROM AN APPROVED GEOTECHNICAL FIRM INDICATING THAT SAID EMBANKMENT CONSTRUCTION MEETS OR EXCEEDS APPLICABLE SPECIFICATIONS SHALL BE FURNISHED. FAILURE OF CONTRACTOR TO COORDINATE WITH THE GEOTECHNICAL FIRM IN ORDER TO COMPLY WITH THIS REQUIREMENT SHALL SUBJECT SAME TO REMOVAL, COMPACTION TESTING AND REPLACEMENT OF THOSE LINES INSTALLED WITHOUT DOCUMENTATION. SAID CORRECTIVE WORK WILL BE AT NO ADDITIONAL COST TO THE OWNER

ANY PROPOSED CHANGES IN THE APPROVED SEWER DESIGN SHALL BE SUBMITTED TO AND APPROVED BY JESSAMINE SOUTH ELKHORN WATER DISTRICT AND LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT PRIOR TO BEGINNING OF CONSTRUCTION OF SAID REVISION

AS-BUILT FIELD SURVEY SHALL BE AUTOCAD FORMAT AND INCLUDE A POINT COORDINATE FILE WITH VERTICAL ELEVATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING

A. MANHOLE- RIM AND INVERT
B. FORCE MAIN FITTINGS.
C. FORCE MAIN ALIGNMENT (MAXIMUM 200' SPACING).
D. END OF SEWER LATERAL, HORIZONTAL AND VERTICAL POSITION.
E. CONTROL MONUMENTATION AND COORDINATES.
F. RECORD PLAT
G. CLEAN OUT
H. FINAL GRADE PROFILE FOR MAIN SEGMENTS REQUIRING SPECIAL CONDITIONS PERTAINING TO COVER, I.E., 2.5' TO 4' AND STD DWG-204.
I. PUMP STATION SITE TOPO

THREE (3) COPIES OF INSPECTION LOGS AND DIGITAL DISK SHALL BE DELIVERED TO JESSAMINE SOUTH ELKHORN WATER DISTRICT, FOR BOTH THE PUNCH LIST AND WARRANTY INSPECTION.

EACH MANHOLE AS IT IS INSTALLED SHALL BE WITNESSED AND MONUMENTED WITH A 7' STEEL "T" FENCE POST PAINTED FLUORESCENT GREEN, DRIVEN A MINIMUM OF 3 FEET INTO THE GROUND, ADJACENT TO THE MANHOLE. PRIOR TO ACCEPTANCE OF THE PROJECT, ANY DAMAGED MARKER POST SHALL BE REPLACED

ALL 6" LATERALS SHALL HAVE A CLEAN OUT AS PER LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT STANDARD DRAWING #233 AND EXTEND A MINIMUM OF 4 FEET ABOVE FINISHED GRADE

THE FLOOR ELEVATION OF THE FIRST FLOOR OF A STRUCTURE WITH SANITARY SEWER SERVICE SHALL NOT BE LESS THAN 2' ABOVE THE MANHOLE TOP OF THE FIRST DOWNGRADE SANITARY SEWER MANHOLE PAST THE SERVICE CONNECTION FOR THE STRUCTURE. FOR BASEMENT SERVICE, THE BASEMENT FLOOR ELEVATION SHALL BE NOT LESS THAN 2' ABOVE THE MANHOLE TOP OF THE FIRST DOWNGRADE MANHOLE PAST THE SERVICE CONNECTION FOR THE STRUCTURE, AND NO SERVICE CONNECTION WILL BE PERMITTED FOR A STRUCTURE WITH A FLOOR ELEVATION LESS THAN 3' ABOVE THE TOP OF PUMP STATION WET WELL SERVING THE AREA, UNLESS THE OWNER OF THE PROPERTY HAS INSTALLED AN INDIVIDUAL SEWAGE PUMPING FACILITY AT THE STRUCTURE WITH THE ELEVATION OF THE DISCHARGE POINT MEETING THE REQUIRED DISTANCES ABOVE THE TOPS OF THE MANHOLES AND PUMP STATION WET-WELLS AND HAS EXECUTED A WAIVER AND RELEASE AND HOLD HARMLESS WITH THE CITY OF NICHOLASVILLE AND JESSAMINE SOUTH ELKHORN WATER DISTRICT.

IN SITUATIONS WHERE THE STORM SEWER IS OVER THE SANITARY SEWER, LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT REQUIRES STRUCTURAL SUPPORTS ON EACH SIDE OF THE SANITARY SEWER DITCH TO SUPPORT THE STORM SEWER ABOVE. (NOTE: LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT DOES NOT WANT FLOWABLE FILL DIRECTLY AGAINST THE SANITARY SEWER LINE.) (SEE DETAILS)

IN SITUATIONS WHERE THE SANITARY SEWER IS OVER THE STORM SEWER, LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT REQUIRES THAT STORM SEWER LINE BACKFILL STONE BE EXTENDED VERTICALLY TO SUPPORT THE SANITARY SEWER LINE. (NOTE: LEXINGTON-FAYETTE URBAN COUNTY GOVERNMENT DOES NOT WANT FLOWABLE FILL DIRECTLY AGAINST THE SANITARY SEWER LINE.) (SEE DETAILS).

ALL SEWER LINES SHALL BE PVC, SDR 35, MEETING THE REQUIREMENTS OF ASTM DESIGNATION D-3034, UNLESS SHOWN OTHERWISE ON APPROVED CONSTRUCTION PLANS. ALL PIPE SHALL BE OF THE BELL AND SPIGOT TYPE AND FURNISHED WITH RUBBER GASKETS.

SEWER LATERALS SHALL BE OF THE SAME MATERIAL AS THE MAIN LINE. NO SEWER LATERAL SHALL BE CONSTRUCTED FROM A MANHOLE.

THE SEWER PIPE, EITHER GRAVITY OR FORCE MAIN, SHALL BE BEDDED ON AT LEAST 6 INCHES OF NO. 9 OR NO. 68 CRUSHED STONE, AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THIS CUSHION SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 12 INCHES IN ANY DIMENSION.

WHEN THE TRENCH EXCAVATION IS WITHIN A STREET (i.e., BACK OF CURB TO BACK OF CURB) THEN THE ENTIRE TRENCH SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE.

MANHOLES, BOTH STORM AND SANITARY SHALL BE CONSTRUCTED OF PRECAST CONCRETE AND SHALL CONFORM TO THE GENERAL SPECIFICATIONS. ALL MANHOLE TOPS SHALL BE ECCENTRIC IN DESIGN. CONICAL TOPS SHALL BE USED FOR ALL MANHOLES WITH DEPTHS GREATER THAN 46 INCHES. MINOR GRADE ADJUSTMENTS (THROUGH THE USE OF GRADE RINGS) TO THE RIM ELEVATION SHALL NOT EXCEED 12 INCHES. NO MORE THAN 2 GRADE RINGS SHALL BE PERMITTED. BITUMINOUS MASTIC SEALANT SHALL BE USED AT EACH JOINT OF THE MANHOLE AND BETWEEN ALL GRADE RINGS AND/OR CASTINGS. NON-SHRINK (HYDRAULIC) GROUT SHALL BE REQUIRED INSIDE THE MANHOLES WHERE THE PIPES ENTER AND EXIT, AND ALL LIFT EYES. XPEX ADMIX SHALL BE BLENDED INTO ALL SANITARY SEWER STRUCTURES, MANHOLES, WETWELLS, ETC. EXTERIOR JOINTS SHALL BE WRAPPED WITH CONWRAP CS-212 INSTALLED PER MANUFACTURER DIRECTION.

ALL MANHOLES SHALL HAVE A HDPE PLASTIC MANHOLE INFLOW PROTECTOR EQUIPPED WITH A NYLON STAP, DOUBLE VALVE AND GASKET, SUITABLE FOR ONE PERSON OPERATION.

ALL ELECTRIC AND COMMUNICATIONS LINES AND APPURTENANCES SHALL BE INSTALLED WITH A MINIMUM OF 6' SEPARATION FROM ANY WATERMAIN OR WATERLINE APPURTENANCE.

WATER FACILITY NOTES (NOT APPLICABLE)

ALL WATER MAINS SHALL BE PVC, CLASS 200 PRESSURE PIPE AWWA AND NSF APPROVED WITH INTEGRAL BELL GASKETED PUSH-ON JOINT.

FITTINGS SHALL BE BITUMINOUS COATED DUCTILE IRON MECHANICAL JOINT AND SHALL BE FULLY CEMENT LINED. ALL FITTINGS USED FOR DIRECTIONAL CHANGES SHALL HAVE CONCRETE KICKERS INSTALLED.

WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE SEWER AND THE WATERLINE. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED

MINIMUM COVER SHALL BE 36 INCHES ABOVE THE TOP OF THE WATERMAIN.

BEDDING AND BACKFILL SHALL CONSIST OF THE FOLLOWING,

A) WHEN THE TRENCH IS IN ROCK, THE PIPE SHALL BE BEDDED ON 6 INCHES OF NO. 9 OR NO. 68 CRUSHED STONE AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 68 CRUSHED STONE FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THIS CUSHION SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 6 INCHES IN ANY DIMENSION

B) WHEN THE TRENCH EXCAVATION IS IN SOIL AND NOT WITHIN A STREET, THE PIPE CAN BE BEDDED FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT SOIL CONTAINING NO PIECES OF ROCK LARGER THAN 3/4 INCH IN SIZE. BACKFILL ABOVE THIS CUSHION SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 6 INCHES IN ANY DIMENSION

ALL VALVES SHALL HAVE ADJUSTABLE TWO-PIECE CAST IRON VALVE BOXES AND COVERS. THE TOPS OF VALVE BOXES SHALL BE SET AT FINISH GRADE IN A MINIMUM 24 INCH SQUARE REINFORCED CONCRETE SLAB.

GATE VALVES SHALL BE WITNESSED WITH A FIBERGLASS GATE VALVE MARKER.

WATER METER BOXES SHALL BE POLYETHYLENE WITH A MINIMUM INSIDE DIAMETER OF 18 INCHES. THE WATER METER COVER AND LID SHALL BE SET AT FINISHED GRADE, AND SHALL COMPLY WITH THE GENERAL SPECIFICATIONS. WATER METER BOXES SHALL BE SET ON THE JOINT PROPERTY LINE OF THE LOT UNLESS SHOWN OTHERWISE. ALL METER SERVICES SHALL BE WITNESSED WITH A 6' STEEL "T" POST DRIVEN 24 INCHES INTO THE GROUND AND PAINTED BLUE. ALL METER SERVICES SHALL BE DUPLEX UNLESS OTHERWISE NOTED.

WATER SERVICES SHALL CONSIST OF THE FOLLOWING,

A) A SINGLE SERVICE SHALL CONSIST OF A 3/4 INCH CORPORATION STOP, SADDLE, 3/4 PE WITH PVC PIGTAIL SERVICE PIPE. METER SETTER (5/8" X 3/4"), METER BOX AND TOP.

B) DOUBLE SERVICE SHALL CONSIST OF A 1 INCH CORPORATION STOP, SADDLE, 1 INCH PE WITH 3/4 INCH PVC PIGTAILS SERVICE PIPE, U BRANCH, METER SETTER (5/8" X 3/4"). METER BOX AND TOP.

ALL WATER SERVICE LINES SHALL BE CASED IN A 4" PVC CONDUIT WHEREVER LINES ARE INSTALL BENEATH STREETS. CONDUIT SHALL BE SEALED TO PREVENT INTRUSION.

ALL LINES SHALL BE INSTALLED, DISINFECTED, AND TESTED ACCORDING TO THE GENERAL SPECIFICATIONS OF JESSAMINE-SOUTH ELKHORN WATER DISTRICT TESTING SHALL BE MONITORED BY THE JESSAMINE-SOUTH ELKHORN WATER DISTRICT REPRESENTATIVES AND THEIR ENGINEER

ALL WATERMAIN CONSTRUCTION SHALL COMPLY WITH AND MEET THE REQUIREMENTS OF "STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR PROPOSED WATERMAIN EXTENSIONS" OF THE JESSAMINE-SOUTH ELKHORN WATER DISTRICT. INSTALLATION SHALL BE INSPECTED BY THE JESSAMINE-SOUTH ELKHORN WATER DISTRICT'S ENGINEER.

LOCATION OF WATERMAIN, FIRE HYDRANTS, GATE VALVES, ETC. SHOWN ON THE PLAN ARE SCHEMATIC AND ARE NOT TO BE SCALED. RATHER, THE CONTRACTOR IS TO STAKE OUT LOCATIONS PER PLAN DETAILS, DIMENSION, AND DIRECTION, SUBJECT TO APPROVAL OF ENGINEER.

CONTRACTOR SHALL WARRANT ALL MATERIALS AND WORKMANSHIP TO JESSAMINE-SOUTH ELKHORN WATER DISTRICT FOR A PERIOD OF ONE (1) YEAR FROM DATE OF CONVEYANCE OF THIS WATERMAIN EXTENSION TO THE DISTRICT.

CONTRACTOR SHALL TAKE NOTICE THAT THEY ARE NOT TO OPERATE ANY OF THE DISTRICT'S EXISTING GATE VALVES. WHEN NEEDED, THE CONTRACTOR SHALL MAKE A TIMELY REQUEST FOR DISTRICT PERSONNEL TO OPERATE SAID GATE VALVES.

TIE-IN OF THIS WATERMAIN EXTENSION TO THE DISTRICT'S EXISTING SYSTEM SHALL ONLY BE MADE BY OR UNDER DISTRICT PERSONNEL. THE CONTRACTOR SHALL BEAR COST OF SAID TIE-IN

CONTINUOUS DETECTABLE UNDERGROUND METALIZED MYLAR WATER LINE MARKING TAPE SHALL BE PLACED DIRECTLY ABOVE ALL WATER MAINS, 12 TO 18 INCHES BELOW FINISHED GRADE, PRIOR TO COMPLETION OF BACKFILL OF THE TRENCH. THE MARKING TAPE SHALL BE 2 INCHES WIDE, BLUE IN COLOR, AND SHALL BEAR A CONTINUOUS PRINTED INSCRIPTION STATING, "CAUTION WATER LINE BURIED BELOW".

FIRE HYDRANTS SHALL BE MUELLER CO., DECATUR, ILLINOIS, MODEL NUMBER A-423. HYDRANTS MAY BE CONSTRUCTED ON THE SAME SIDE OF THE STREET AS THE MAIN WATER LINE. THE TEE, GATE VALVE, AND FIRE HYDRANT SHALL BE RODDED SEPARATELY AND CONCRETE KICKER INSTALLED BEHIND THE TEE AND FIRE HYDRANT.

UPON COMPLETION OF ACCEPTABLE TESTING AND DISINFECTION, DISTRICT'S REPRESENTATIVE SHALL OBTAIN BAC-T SAMPLES. POSITIVE SAMPLES SHALL REQUIRE FLUSHING AND DISINFECTION UNTIL A NEGATIVE SAMPLE IS OBTAINED. CONTRACTOR SHALL BEAR THE COST OF TESTING.

ALL ADJACENT FITTINGS, VALVES, FIRE HYDRANTS, ETC. SHALL BE RODDED TOGETHER INDIVIDUALLY VIA THE USE OF STAINLESS STEEL, ALL THREAD, WASHERS, NUTS, AND DUC-LUGS.

ADEQUATELY SIZED CONCRETE ANCHORS SHALL BE REQUIRED AT ALL FITTINGS AND FIRE HYDRANTS WHETHER RESTRAINED, RODDED, OR OTHERWISE.

UPON COMPLETION OF FLUSHING AND TESTING THE CONTRACTOR SHALL LOCK THE METER SETTER WITH A BARREL LOCK AND SHALL DELIVER TO THE DISTRICT A SENSUS SR II ELECTRONIC WATER METER FOR EACH SERVICE INSTALLED.

CONTRACTOR SHALL AFFIX #12 TRACER WIRE TO THE TOP OF THE INSTALLED WATERMAIN, AT EACH GATE VALVE THE TRACER LOOP WIRE SHALL BE BROUGHT TO THE SURFACE OUTSIDE OF THE GATE VALVE BOX AND ADJACENT TO ALL FIRE HYDRANTS AND SECURELY FASTENED TO ALLOW FUTURE ACCESS.

Drawing: 23153_07_Sanitary Sewer Plan.dwg

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STATE OF KENTUCKY
AUSTIN D. SWINEY
35808
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 186-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

JESSAMINE SOUTH ELKHORN WATER
DISTRICT GENERAL NOTES

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

SHEET 7F

DATE: 08/23/2024

REVISED	
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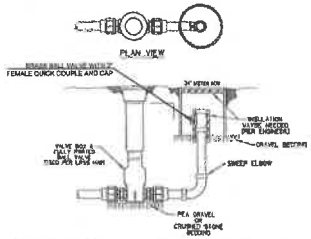
JOB: 23153
DRAWN: ADS/KJH
CHECKED: JDB



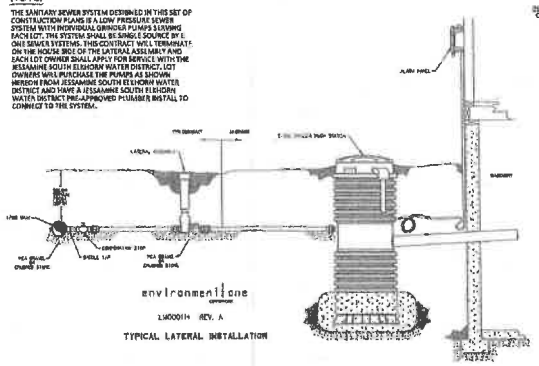
TYPICAL TERMINAL FLUSHING CONNECTION

e|one SEWER SYSTEMS
ESD 10-0094

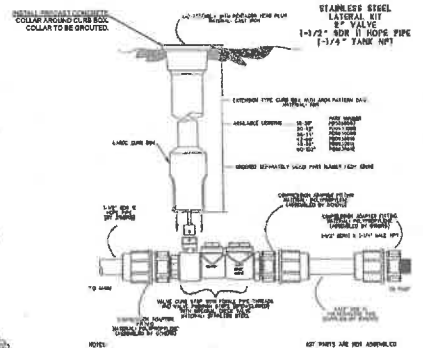
THE SANITARY PORTION OF THIS PROJECT IS A COMPRESSION FITTING JOB, NOT FUSION FITTING

NOTE:

THE SANITARY SEWER SYSTEM DESIGNED IN THIS SET OF CONSTRUCTION PLANS IS A LOW PRESSURE SEWER SYSTEM WITH INDIVIDUAL GRINDER PUMPS SERVING EACH LOT. THE SYSTEM SHALL BE SINGLE SOURCE BY E-ONE SEWER SYSTEMS. THIS CONTRACT WILL TERMINATE ON THE HOUSE SIDE OF THE LATERAL ASSEMBLY AND EACH LOT OWNER SHALL APPLY FOR SERVICE WITH THE JESSAMINE SOUTH ELKHORN WATER DISTRICT. LOT OWNERS WILL PURCHASE THE PUMPS AS SHOWN HEREON FROM JESSAMINE SOUTH ELKHORN WATER DISTRICT AND HAVE A JESSAMINE SOUTH ELKHORN WATER DISTRICT PRE-APPROVED PLUMBER INSTALL TO CONNECT TO THE SYSTEM.



TYPICAL LATERAL INSTALLATION



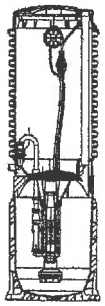
e|one SEWER SYSTEMS
STAINLESS STEEL LATERAL KIT
2" VALVE, 1-1/2" SDR 11, 1-1/4" TANK NPT

NA0330P10

E/ONE EXTREME SERIES

~~DH071~~

NOT IN THIS CONTRACT



General Features

The model DH071 grinder pump station is a complete unit that includes: the grinder pump, check valve, HDPE (high density polyethylene) tank, controls, and alarm panel. A single DH071 is a popular choice for one, average single-family home and can also be used for up to two average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 700 gpd (2650 lpd)
- 70 gallons (265 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 61 inches to 160 inches

The DH071 has a cable that connects the motor controls to the level controls through watertight penetrations.

Operational Information

Motor
1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections
4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections
Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

Discharge
15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 60 psig (0.49 lps at 55 m)

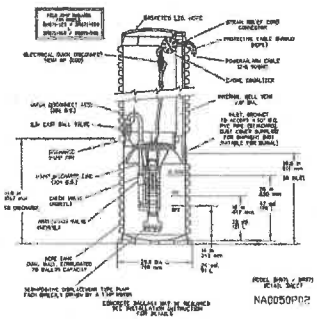
Accessories

E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

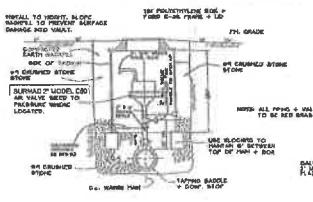
The Remote Series is ideal for installations where the alarm panel may be hidden from view.

NA0080P01 Rev E

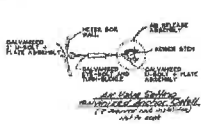


NA0050P02

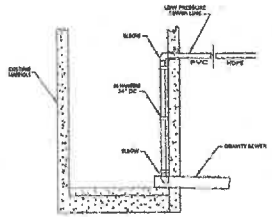
TYPICAL PUMP ASSEMBLY BY OTHERS
NOT THIS CONTRACT

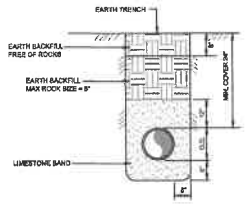


TYPICAL AIR VALVE SETTING
NOT TO SCALE
SEWAGE & WASTEWATER COMBINATION AIR VALVE
BERMAD MODEL C80 OR APPROVED EQUAL



TYPICAL DROP CONNECTION
LPSS IN EXISTING MANHOLE





TYPICAL SANITARY FORCE MAIN TRENCH DETAIL
NOT TO SCALE

SANITARY FORCE MAIN NOTES

1. REFER TO SHEET 7C FOR SANITARY FORCE MAIN PLAN VIEW.
2. REFER TO SHEET 7E FOR SANITARY FORCE MAIN PROFILES.
3. CLASS I LIMESTONE SAND SHALL BE USED AS BEDDING AND BACKFILL AROUND FORCE MAIN.
4. ALL VALVES SHALL BE FULLY BRASS OR STAINLESS STEEL.
5. STAINLESS STEEL INSERTS SHALL BE INSTALLED AT ALL FITTINGS AND JOINTS.

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Draw-pg 23153_07_Sanitary Sewer Plan.dwg

COMMONWEALTH OF KENTUCKY
Austin D. Swiney
AUSTIN D. SWINEY
36806
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1931 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SANITARY SEWER DETAILS

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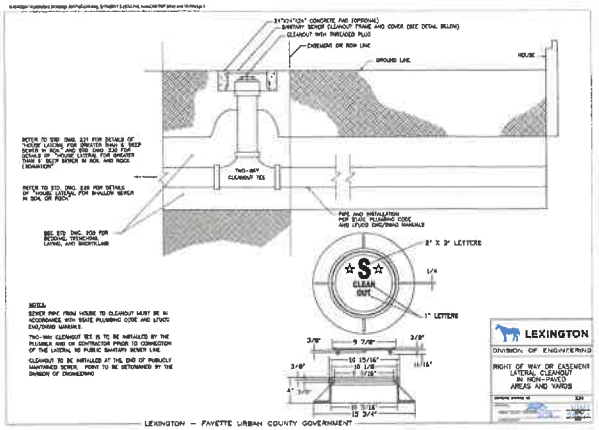

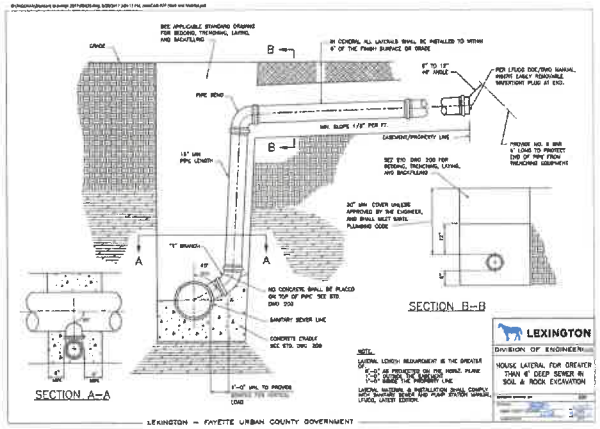

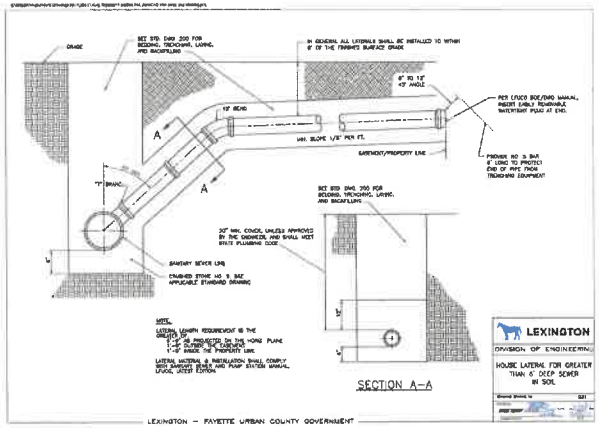

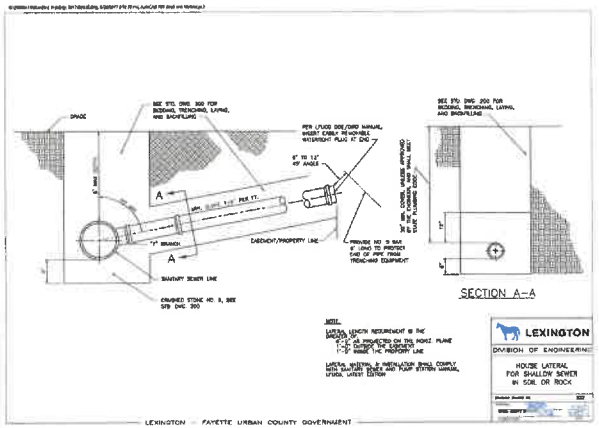

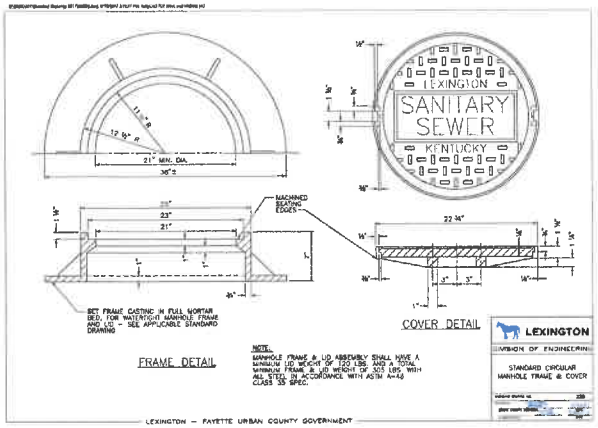

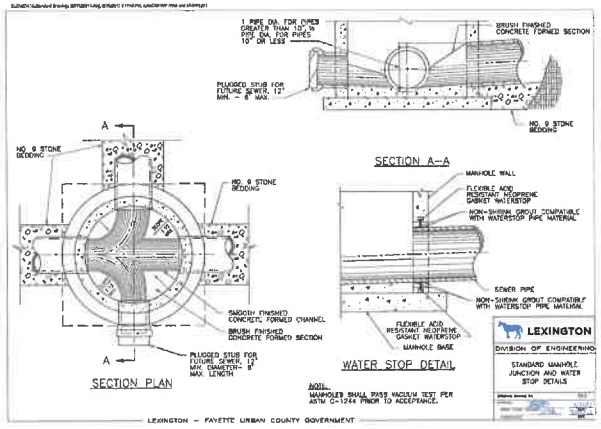

STATE OF KENTUCKY
AUSTIN D. SWINEY
38608
LICENSED PROFESSIONAL ENGINEER
6/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

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1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1-A
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LFUCG SANITARY SEWER DETAILS

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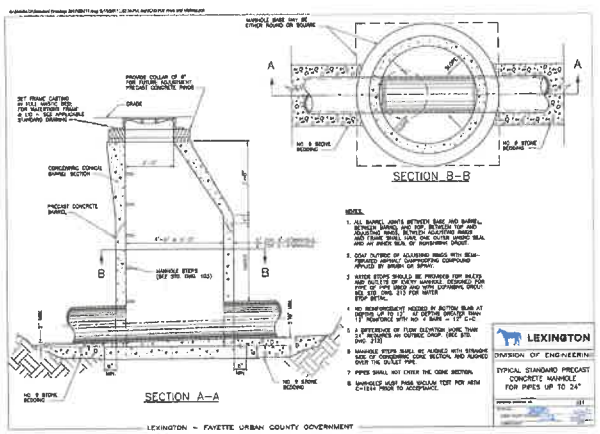

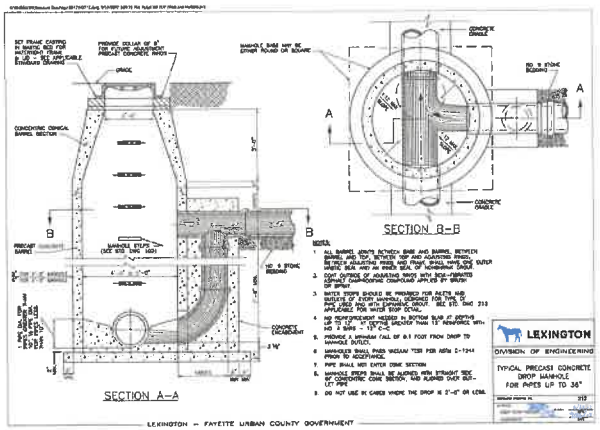

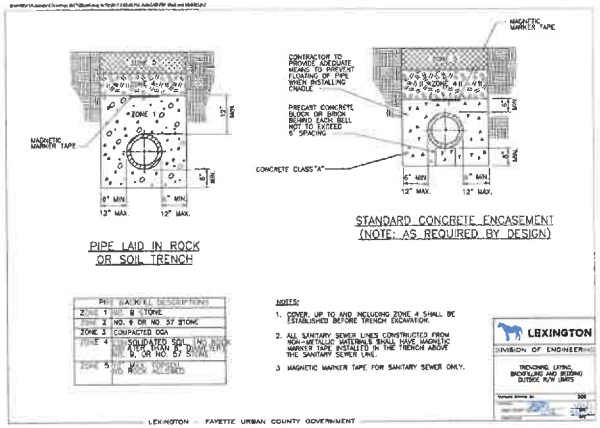

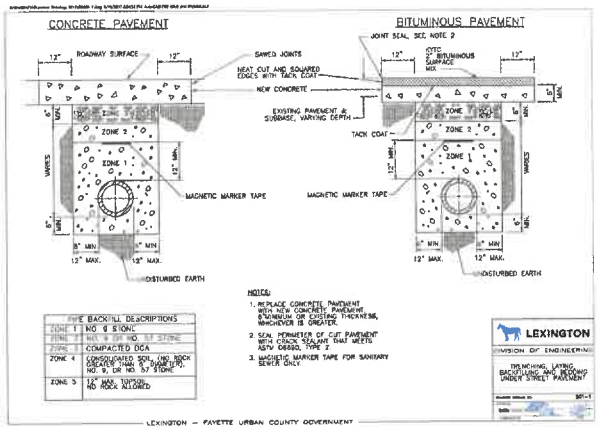

STATE OF KENTUCKY
AUSTIN D. SWINEY
36606
LICENSED PROFESSIONAL ENGINEER
09/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
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1650 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

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GENERAL NOTES:

1. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY COMPANIES AND VERIFY THEIR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR DAMAGES TO THE EXISTING UTILITIES THAT MAY OCCUR DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BY CALLING 811 (BEFORE YOU DIG) AT 800-752-6007. ADDITIONAL UTILITIES NOT COVERED BY 811 SHOULD BE NOTIFIED FOR LOCATIONS.
3. REFER TO THE CITY OF NICHOLASVILLE GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF WATER FACILITIES, SEWERAGE FACILITIES, STREETS, AND STORM DRAINAGE FACILITIES. FOR MATERIALS, INSTALLATIONS METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS (SEE DUAL SPECIFICATIONS NOTE).
4. ANY UNSUITABLE PIPE SUBGRADE MATERIAL ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH PROPERLY COMPACTED SHOWERED FILL.
5. EXISTING FENCES, WALLS, TREES OR OTHER VEGETATION AND IMPROVEMENTS SHOULD BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT POSSIBLE. TREES WHICH ARE ANTICIPATED TO BE DAMAGED SHALL BE FLAGGED AND REVIEWED WITH THE ENGINEER PRIOR TO PROCEEDING WITH ADJACENT WORK. THE CONTRACTOR SHALL RESTORE EXISTING IMPROVEMENTS TO CONDITIONS EQUAL TO PRE-CONSTRUCTION CONDITIONS. DAMAGED TREES NOT APPROVED FOR REMOVAL SHALL BE REPLACED BY THE CONTRACTOR. FENCES REMOVED SHALL BE RESET AFTER ADJACENT CONSTRUCTION IS COMPLETE.
6. ALL CONSTRUCTION AND SITE RESTORATION SHALL BE IN CONFORMANCE WITH CURRENT KENTUCKY TRANSPORTATION CABINET STANDARDS AND GUIDELINES.
7. FOR EROSION CONTROL PURPOSES, CONTRACTOR SHALL STOCKPILE EXCAVATED TRENCH MATERIAL ON THE UPHILL SIDE (OPPOSITE OF STREAMS, DITCHES, FLOWLINES, ETC.) OF EXPOSED TRENCH.
8. EXCAVATION IS UNCLASSIFIED. THERE SHALL BE NO SEPARATE PAYMENT FOR ROCK EXCAVATION.

GENERAL NOTES FOR NICHOLASVILLE, KENTUCKY:

1. REFER TO THE CITY OF NICHOLASVILLE GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF WATER FACILITIES, SEWERAGE FACILITIES, STREETS, AND DRAINAGE FACILITIES. FOR MATERIALS, INSTALLATION METHODS, TESTING PROCEDURES, AND INSPECTION REQUIREMENTS (SEE DUAL SPECIFICATIONS NOTE).
2. ANY CHANGES FROM THE APPROVED PLANS SHALL BE SUBMITTED IN WRITING TO AND APPROVED BY THE NICHOLASVILLE PLANNING COMMISSION AND JCWD #1 PRIOR TO THE WORK BEING DONE.

CITY OF NICHOLASVILLE WATER FACILITIES NOTES:

1. ALL WATER MAINS SHALL BE PVC 1120 MANUFACTURED OF CLASS 12454-A OR 12454-B RESIN MATERIAL WITH A HYDROSTATIC DESIGN BASIS (HDB) RATING OF 4,000 PSI AT 73.4° F (23° C). PVC PIPE MUST BE NSF APPROVED AND BEAR THE NSF SEAL. THE PIPE SHALL BE DESIGNED, MANUFACTURED, AND TESTED IN CONFORMANCE TO THE LATEST REVISION OF THE AMERICAN WATERWORKS ASSOCIATION DESIGNATION AWWA C900 AND EACH LENGTH OF SHALL BE SO LABELED. EACH LENGTH OF PIPE SHALL BE FURNISHED AND LABELED TO SHOW THAT THE OUTSIDE DIAMETER (O.D.) IS EQUAL TO THAT FOR DUCTILE IRON AND CAST IRON PIPE. THE PIPE SHALL HAVE A STANDARD DIMENSIONAL RATIO (SDR) OF 18 OR 14 FOR CLASS 150 AND 200 RESPECTIVELY. PIPE JOINTS SHALL BE RUBBER GASKET PUSH-ON JOINTS EITHER CONSTRUCTED INTEGRALLY WITH THE PIPE OR AS A SEPARATE COUPLING CONSTRUCTED OF THE SAME MATERIAL AND TO THE SAME PRESSURE SPECIFICATIONS AS THE PIPE.
2. FITTINGS SHALL BE BITUMINOUS COATED DUCTILE IRON MECHANICAL JOINT AND SHALL BE FULLY CEMENT LINED. ALL FITTINGS USED FOR DIRECTIONAL CHANGES SHALL HAVE CONCRETE KICKERS INSTALLED.
3. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED.
4. MINIMUM COVER SHALL BE 30 INCHES ABOVE THE TOP OF THE PIPE. BEDDING AND BACKFILL SHALL CONSIST OF THE FOLLOWING:
   A. WHEN THE TRENCH EXCAVATION IS IN ROCK, THE PIPE SHALL BE BEDDED ON 6 INCHES OF NO. 9 OR NO. 11 CRUSHED STONE AND SHALL BE BACKFILLED WITH NO. 9 OR NO. 11 CRUSHED STONE FOR A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE PIPE. BACKFILL ABOVE THIS CUSHION SHALL NOT CONTAIN PIECES OF ROCK LARGER THAN 12 INCHES IN ANY DIMENSION.
   B. WHEN THE TRENCH EXCAVATION IS IN SOIL, AND NOT WITHIN A STREET, THE PIPE CAN BE BEDDED AND BACKFILLED WITH SELECT SOIL CONTAINING NO PIECES OF ROCK LARGER THAN 3/4 INCH IN SIZE.
   C. WHEN THE TRENCH EXCAVATION IS WITHIN A STREET (I.E., BACK OF CURB TO BACK OF CURB), THEN THE ENTIRE TRENCH SHALL BE BACKFILLED WITH NO. 9 OR NO. 11 CRUSHED STONE.
5. A CONTINUOUS, DISTINCTABLE UNDERGROUND METALIZED MYLAR WATER LINE MARKING TAPE SHALL BE PLACED DIRECTLY ABOVE ALL WATER MAINS, 12 TO 18 INCHES BELOW FINISHED GRADE, PRIOR TO BACKFILL OF THE TRENCH. THE WARNING TAPE SHALL BE 3 INCHES WIDE MINIMUM, BLUE IN COLOR, AND SHALL BEAR A CONTINUOUS PRINTED INSCRIPTION STATING "CAUTION WATER LINE BURIED BELOW" AS MANUFACTURED BY LINEGUARD, INC. WHEATON, ILLINOIS OR EQUAL.
6. ALL VALVES IN PAVED AREAS SHALL HAVE ADJUSTABLE TWO-PIECE CAST IRON VALVE BOXES AND COVERS. VALVES LOCATED OUTSIDE PAVED AREAS MAY HAVE 8 INCH DIAMETER PVC BOXES WITH CAST IRON OR ALUMINUM CASTINGS SPECIFICALLY DESIGNED TO BE FASTENED TO THE TOP OF THE PVC FOR THE COVERS. THE TOPS OF VALVE BOXES LOCATED OUTSIDE OF PAVED AREAS SHALL BE SET AT FINISH GRADE IN A MINIMUM 18 INCH SQUARE CONCRETE PAD.
7. FIRE HYDRANTS SHALL BE MUELLER CO., DECATUR, ILLINOIS, MODEL NUMBER A-423. HYDRANTS MAY BE CONSTRUCTED ON THE SAME SIDE OF THE STREET AS THE MAIN WATER LINE WITH THE USE OF MECHANICAL JOINT ANCHOR FITTINGS.
8. FLUSHING HYDRANTS (BLOW-OFF VALVES) SHALL BE AQUARIUS ONE-O-ONE "HIDDEN HYDRANT" AS MANUFACTURED BY GR INDUSTRIES, INC., PENSACOLA, FLORIDA, OR EQUAL AS APPROVED BY THE CITY.
9. WATER METER BOXES SHALL BE POLYETHYLENE WITH AN INSIDE DIAMETER OF 18 INCHES FOR 3/4 INCH SINGLE SERVICES AND 24 INCHES FOR 1 INCH AND DUPLEX SERVICES. THE WATER COVER AND LID SHALL BE SET AT FINISHED GRADE AND SHALL BE FORD METER BOX COMPANY, INC., WABASH, INDIANA, CATALOG NO. C32 OR EQUAL. IF LOCATED OUTSIDE OF THE CITY OF NICHOLASVILLE SERVICE TERRITORY, CATALOG NO. C32-T WITH A 1-3/4 INCH HOLE FOR SINGLE 3/4 INCH SERVICES WITHIN THE CITY OF NICHOLASVILLE SERVICE TERRITORY, AND CATALOG NO. C32-TT WITH TWO 1-3/4 INCH HOLES FOR DOUBLE METER INSTALLATIONS WITHIN THE CITY OF NICHOLASVILLE SERVICE TERRITORY. WATER METER BOXES SHALL BE SET AT THE APPROXIMATE MID-POINT OF EACH LOT, UNLESS OTHERWISE ON AN APPROVED DEVELOPMENT PLAN.
10. WATER SERVICE SHALL CONSIST OF THE FOLLOWING (UNLESS OTHERWISE NOTED ON THESE PLANS):
    D. A SINGLE SERVICE SHALL CONSIST OF A 3/4 INCH CORPORATION STOP, SADDLE, 3/4 INCH TYPE K SOFT COPPER SERVICE PIPE, METER SETTER (3/4" X 3/4"), METER BOX AND TOP.
    E. A DOUBLE SERVICE SHALL CONSIST OF A 1 INCH CORPORATION STOP, SADDLE, 1 INCH TYPE K SOFT COPPER SERVICE PIPE, DOUBLE METER SETTER (3/4" X 1"), METER BOX AND TOP.
    F. COPPER SERVICE LINES INSTALLED UNDER PUBLIC STREETS SHALL BE ENCASED IN 3 INCH PVC PIPE OR CONDUIT EXTENDING FROM BACK OF CURB TO BACK OF CURB.
11. ALL LINES SHALL BE INSTALLED, DISINFECTED, AND TESTED IN ACCORDANCE WITH THE GENERAL SPECIFICATIONS.

JESSAMINE COUNTY WATER DISTRICT NO. 1 NOTES:

1. SEE GENERAL NOTES ON JCWD #1 STANDARD DRAWINGS.
2. VERTICAL FITTINGS ARE TO BE AVOIDED IF POSSIBLE. IN CASES WHERE VERTICAL FITTINGS CANNOT BE AVOIDED, THE INSTALLATION OF VERTICAL FITTINGS MUST BE WITNESSED BY JCWD1 PERSONNEL TO OBSERVE THE INSTALLATION OF CONCRETE, DUCKBILL, ROCKING TO CABING PIPES AND ANY OTHER MEANS OF SECURING VERTICAL FITTINGS FOR LONG-TERM STABILITY. ADDITIONAL REQUIREMENTS SHALL BE AT THE SOLE DISCRETION OF JCWD1.
3. ALL WATER MAINS MUST MAINTAIN TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SEPARATION FROM ALL PROPOSED SANITARY SEWERS.
4. THE JCWD1 SHALL INSTALL ALL CUSTOMER SERVICES AND APPURTENANCES FROM THE WATER MAIN TO, AND INCLUDING, THE METER AND METER BOX. THE DEVELOPER'S CONTRACTOR IS TO INSTALL THE WATER MAIN AND APPURTENANCES ONLY. ALL CONNECTIONS TO EXISTING WATER MAINS SHALL BE CONDUCTED BY JCWD#1 PERSONNEL.
5. SERVICE LINES CROSSING DEDICATED STREETS MUST BE ENCASED (SEE TYPICAL METER INSTALLATION DETAILS).
6. 16" STEEL CASING PIPE SHALL BE INSTALLED WERE PROPOSED 8" MAIN CROSSES DEDICATED STREETS.
7. ALL WATER MAINS INSTALLED AT A DEPTH EXCEEDING SIX (6) FEET OF COVER SHALL BE INSTALLED WITH RESTRAINED JOINTS.

INFRASTRUCTURE FIELD ADJUSTMENT NOTE

INLET AND RIM ELEVATIONS FOR SANITARY AND STORM SEWER STRUCTURES SHOWN HEREON ARE BASED ON APPLIED TYPICAL STREET SECTIONS AND LOT GRADING. CONTRACTOR TO MAKE NECESSARY FIELD ADJUSTMENTS TO THESE STRUCTURES TO MATCH CONSTRUCTED FIELD CONDITIONS AT NO ADDITIONAL COST TO THE OWNER OR THE ENGINEER. FIELD ADJUSTMENTS TO WATERLINE APPURTENANCES SHALL ALSO BE REQUIRED TO MATCH CONSTRUCTED FIELD CONDITIONS.

DUAL SPECIFICATIONS NOTE

WATER SERVICE TO THIS DEVELOPMENT SHALL BE PROVIDED BY JESSAMINE COUNTY WATER DISTRICT NO. 1 AND ALL WORK SHALL BE COMPLETED FOLLOWING THEIR SPECIFICATIONS. HOWEVER, AS THIS PROPERTY IS ANNEXED INTO THE CITY OF NICHOLASVILLE, THE CITY OF NICHOLASVILLE GENERAL SPECIFICATIONS SHALL ALSO APPLY TO THIS DEVELOPMENT. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY. SEE JESSAMINE COUNTY WATER DISTRICT NO. 1 GENERAL NOTES.

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY DIG SAFELY (KDS)" (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLE, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

Kentucky 811

Drawing: 23153_08_Waterline Plan.dwg

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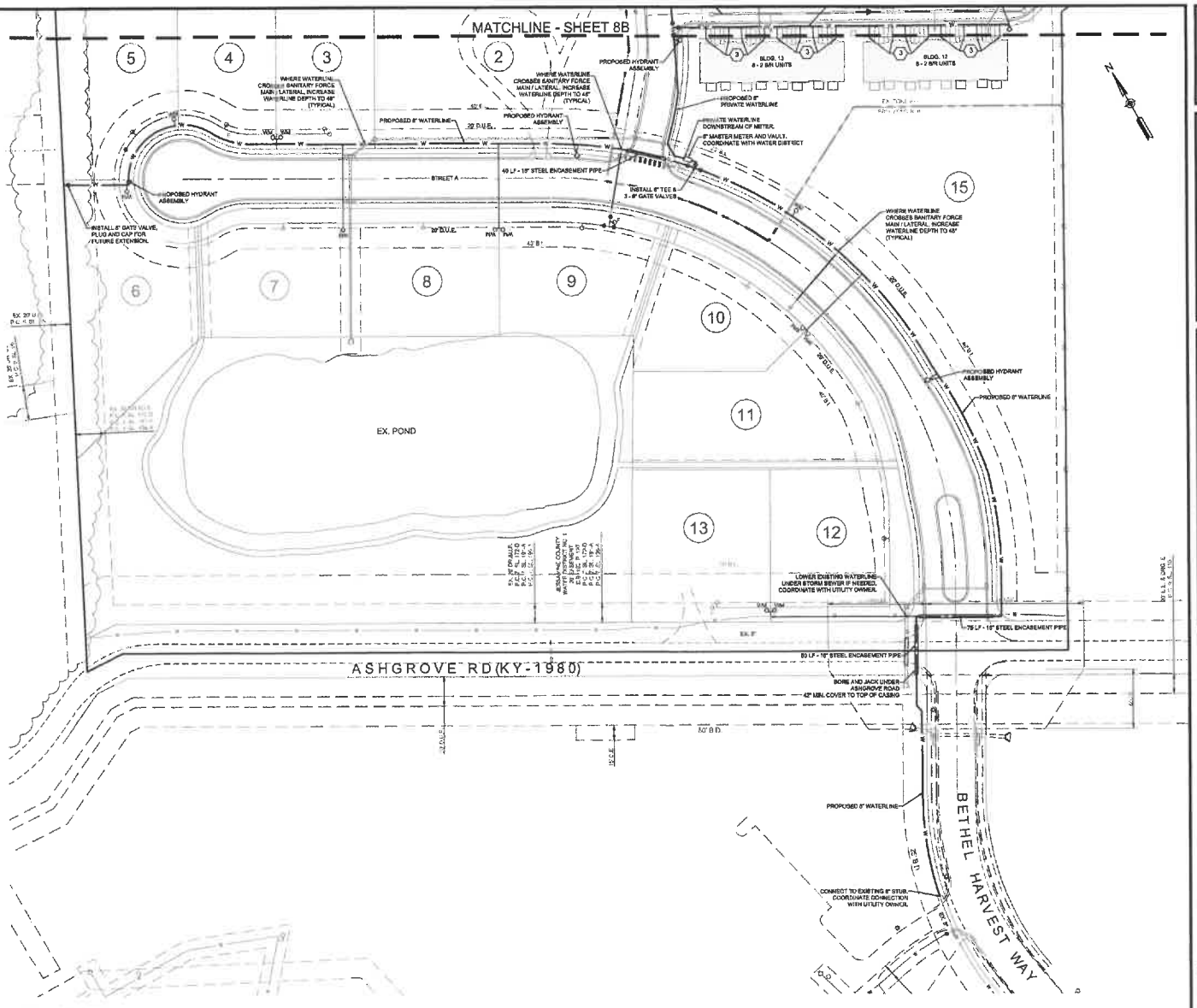

STATE OF KENTUCKY — AUSTIN D. SWINEY — 36606 — LICENSED PROFESSIONAL ENGINEER — 9/23/2024

OWNER
ASHGROVE FARMS, LLC
7701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1901 PAYNE STREET, LOUISVILLE, KY 40205

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1550 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

WATERLINE PLAN

BANKS
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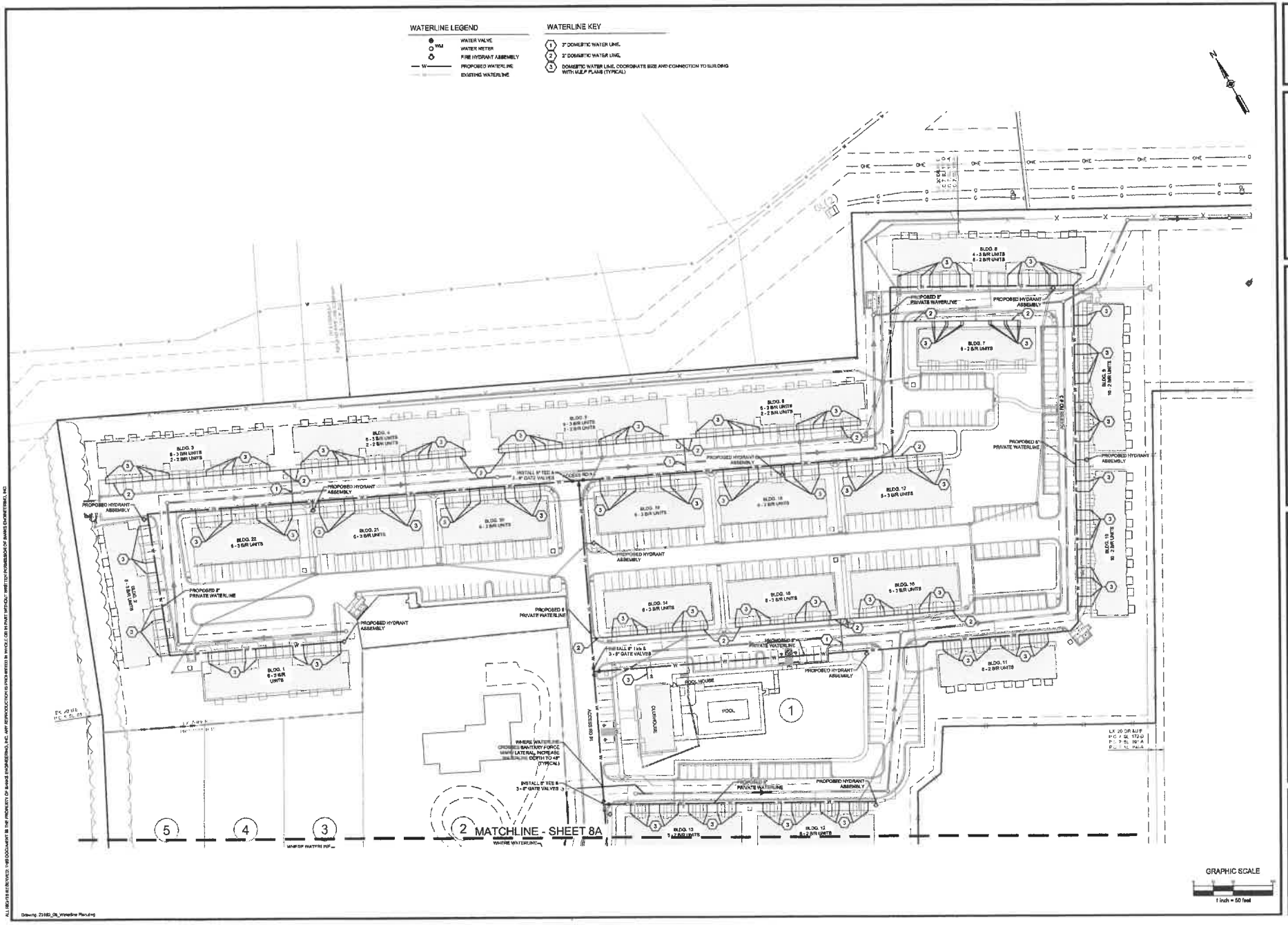

STATE OF KENTUCKY
AUSTIN O. SWINEY
38809
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
17701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1350 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

WATERLINE PLAN

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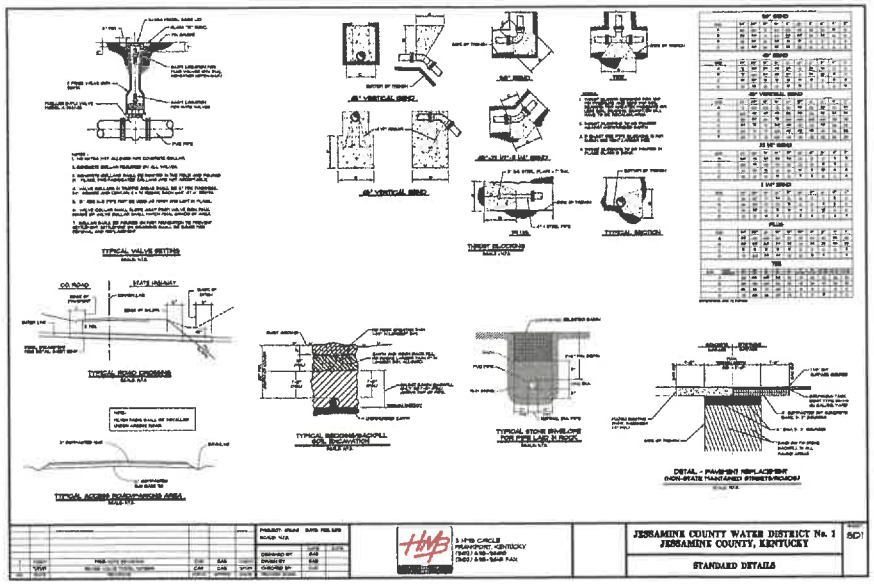
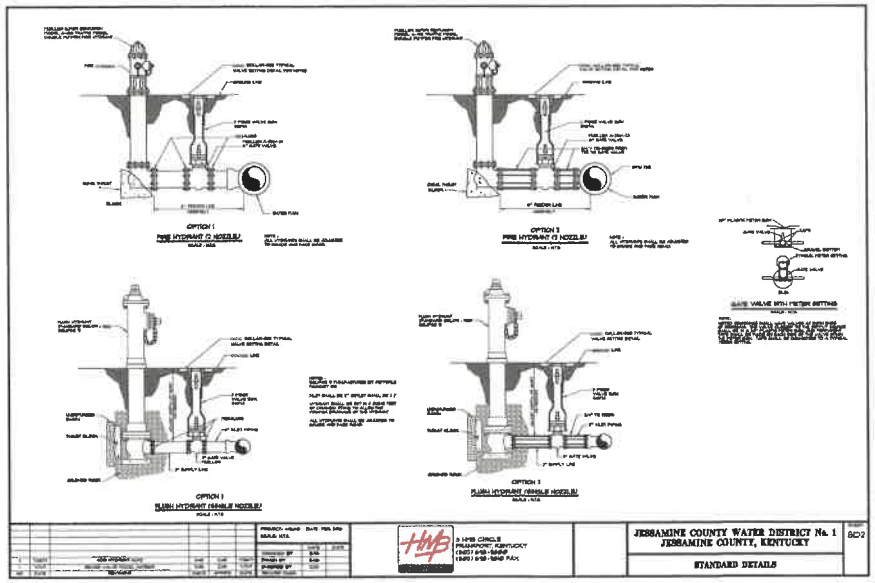
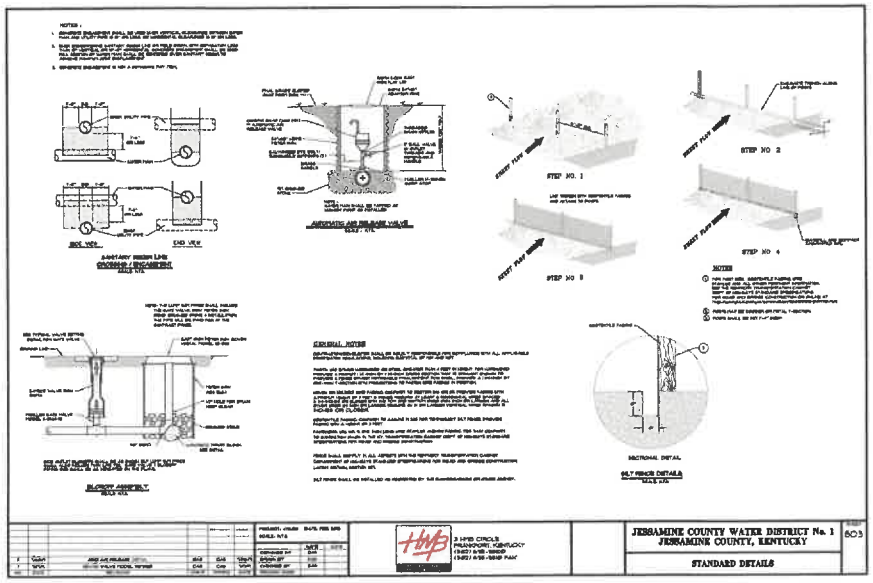
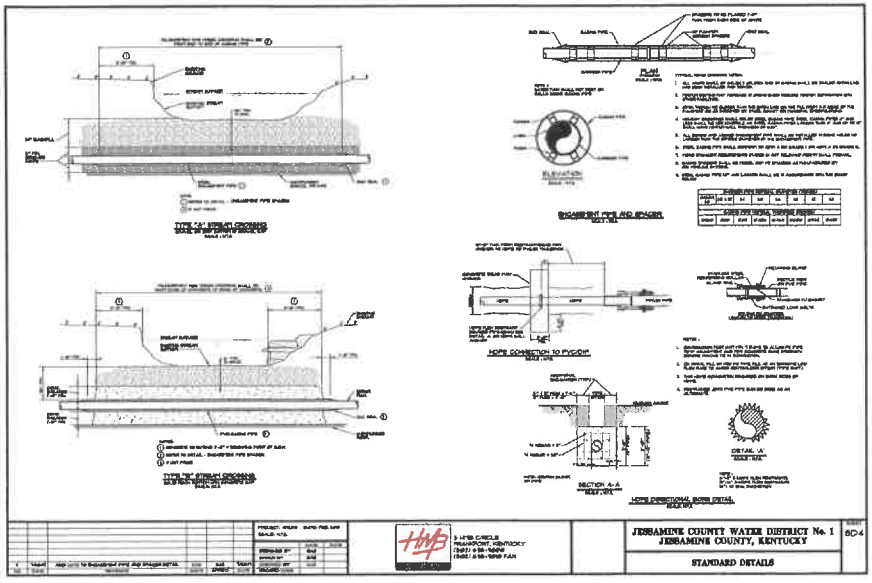
Drawing: 23153_08_Waterline Plan.dwg









STATE OF KENTUCKY
AUSTIN D. SWINEY
35928
LICENSED PROFESSIONAL ENGINEER
09/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1350 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

JCWD #1 STANDARD DETAILS

BANKS
1311 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

DATE	09/23/2024	
REVISION		
1		
2		
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SHEET 9A
JOB 23153
DRAWN AD/SK/JH
CHECKED JDB

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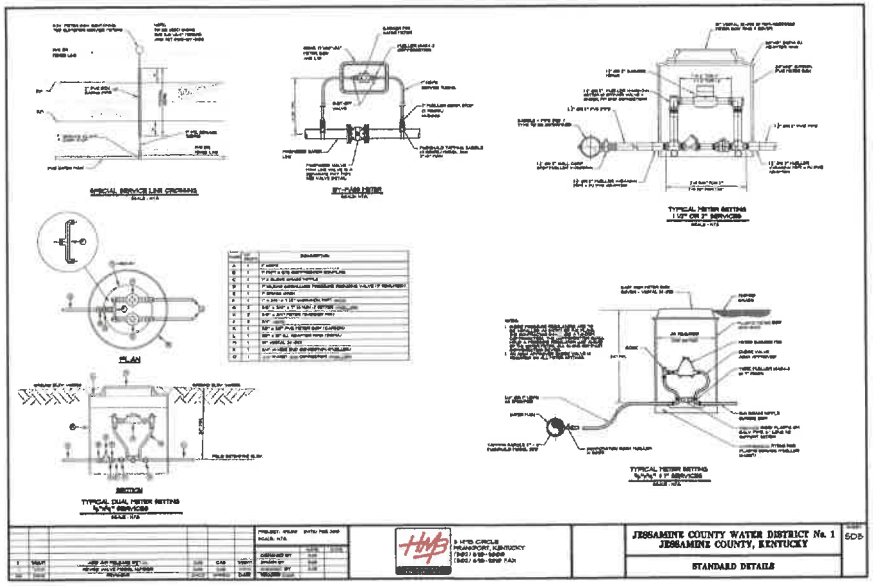
Drawing: 23153_09_Water-Line Details.dwg



JESSAMINE COUNTY WATER DISTRICT No. 1
GENERAL NOTES
February 4, 2021

1. No water will be provided by JCWD1 to any development until the District's standard development contract is executed and returned to the District and all costs incurred by the District have been reconciled by the Developer.
2. The Developer's Contractor shall notify JCWD1 a minimum of 48 hours prior to the start of construction.
3. JCWD1 shall install all customer services and appurtenances from the water main to, and including, the meter and meter box. The Developer's Contractor is to install the water main and appurtenances only.
4. All water line shall be laid in either a dedicated utility easement (30' minimum) and/or public right-of-way where the District has unrestricted access and permission to cut the street to make repairs. In new residential developments, or other areas with sidewalks, the developer shall provide JCWD1 with a dedicated water line easement a minimum of 5' in width for water line installed parallel to sidewalks. Easements shall be a minimum of 30' in all other circumstances.
5. The bacteriological testing will be coordinated by JCWD1 and will be charged to the Developer. JCWD1 personnel will take all samples. Disinfection of the lines must be performed by the Contractor under the direct supervision of the District. The Contractor may not open any valve to the District's system. Copies of all lab reports must be presented to the District for review
6. Pressure testing of the water lines and appurtenances shall be performed by the Contractor and must be observed by JCWD1 personnel. The Contractor may not open any valves to the District's system.
7. Installed water main shall be tested at 50 PSI above the rated working pressure of the pipe for a minimum of two (2) hours, with no more than 5 PSI pressure loss over the duration of the test. JCWD1 personnel shall witness the test preparation and record gage readings at the beginning and end of the pressure test. Not more than 3500 feet of pipe may be tested at any one time.
8. A two-year warranty period is required on all portions of the work. The Developer is responsible for all maintenance and repair costs during this timeframe.
9. Record Drawings, including a construction cost estimate and detailed quantity breakdown, are to be provided to the District by the Developer/Owner, or his Engineer, when construction is complete. Both a paper copy and electronic copy (latest/referenced AutoCAD format and PDF) of Record Drawings are required to be submitted to the District.
10. The Developer's Engineer must certify to the District, the City and DOW that the fire hydrants installed meet all City and State requirements.
11. JCWD1 shall make all connections to existing water lines. The Developer's Contractor must coordinate all connections with the District. The Developer is responsible for all costs associated with connections or taps to existing mains.
12. The Developer must submit contracts requesting service. No deposit is required if the Developer is supervising bidding and construction of the work.
13. The Developer and/or his Engineer must provide sufficient construction observation services for the project so that the construction can be certified by the Developer's Engineer to the DOW with no qualifications when construction is completed.
14. Periodic Project Inspection shall be performed by the District, at the Developer's or the Contractor's expense. The amount of inspection services and costs may be estimated prior to the start of the work, at the Developer's request. The Developer's Engineer shall provide adequate inspection to certify the completed project to the DOW without qualification or exception.
15. DOW must approve the final plans and their approval letter must be submitted to Jessamine County Water District No. 1 prior to construction.
16. All water line trenches must be of sufficient width to allow any subsequent maintenance to be practically performed. Required width shall be determined by the District's representative.
17. #10 AWG THWN insulated copper wire shall be installed along all water main. All splices of tracer wire shall be fully encapsulated within potcaps.
18. Standard utility marking tape shall be installed in the trench directly over all water mains at a depth of approximately 18 inches.
19. Installed water main joint deflection may not exceed 4° per 20-foot stick of pipe or manufacturer recommendation if less than 4° as measured from bell to spigot in relation to what would be a true and straight installation extending along the length of the preceding joint of pipe, or manufacturer recommendations if less than 4°.
20. All installed water main must be seated in accordance with manufacturer recommendations and may not be proof or under inverted under any circumstances.
21. Backfill around each beema must be tightly compacted to prevent shifting of water main towards any catch basin.
22. The Developer shall submit Shop Drawings/construction materials submittals to the District for review prior to beginning construction.
23. The Contractor shall perform rough cleanup daily, with no ditches left open overnight and all construction debris disposed of daily.
24. More stringent requirements of any applicable permit shall apply to the Work.
25. Any water main installed in public right-of-way shall be a minimum of 36" deep. State maintained roadway crossings shall be a minimum of 42" deep measured from the lowest point in the right-of-way. Water main installed parallel to roadways and within the right-of-way shall be a minimum of 36" deep unless installed in the ditch, where it shall be a minimum of 42" deep
26. Three (3) feet of horizontal separation is required between installed water main and any and all other underground utilities. Water main may be installed in the utility strip only if this separation may be achieved and the water main is the only underground utility within the utility strip. Minimum utility strip width is six (6) feet.
27. Megalug style joint restraints are required for all water main larger than 8" in diameter. Romac grip rings are acceptable only for pipe 8" or less in diameter.
28. Water Main installed within city limits shall comply with applicable standards.
29. No copper service line may be installed regardless of location of project in relation to city limits.

NOTE :
THE DOCUMENTS DEPICTED HEREIN ARE FOR INFORMATION ONLY. COPIES OF ALL DOCUMENTS FOR EXECUTION MUST BE OBTAINED FROM JCWD No. 1 BY CALL NO (859) 885-5314

				PROJECT:	DATE:	NO:		
				SCALE: N.T.S.				
				DESIGNED BY	CAS			
				DRAWN BY	CAS			
1	2020	[illegible]	CAS	CAS	MAR	CHECKED BY	CAS	
0	2020	[illegible]	MAR	JAMES	SEP	REVISED BY	MAR	

3 HYB CIRCLE
FRANKFORT, KENTUCKY
(502) 695-5000
(502) 695-5002 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD DETAILS - GENERAL NOTES

SD6

CONTRACT FOR USE OF FIRE PROTECTION SYSTEM

THIS AGREEMENT made and entered on this the _____ day of _____, 20____, by and between _____ hereinafter referred to as "Customer" and the Jessamine County Water District No. 1, its successors and assigns, of Jessamine County, Kentucky, hereinafter referred to as "District"

WHEREAS, the Customer is the owner of various and property which is situated within or near to be provided with a fire services by the District, and

WHEREAS, the Customer intends to install, own and maintain a fire protection system to be supplied over by the District's system, and

WHEREAS, it is the policy of the District to assist or otherwise another fire does all assessment to its system.

NITNESSETH: The Customer in consideration of permission hereby granted by the District for the Customer to connect and fire protection premises to a double detector check valve furnished by the Customer, the Customer does hereby covenant and agree with the District as follows:

1. The installed fire protection System, including the double detector check valve installation, the check valve of the water line connecting the double check valve and the District's system, the valve pit box and all related appurtenances to the point of the District' valve shall be already installed and maintained solely by and at the expense of the Customer.

2. The plans, specifications and construction for the complete fire protection system must comply with all District, local, state and federal requirements and regulations and be approved by the District before construction and installation. Customer shall comply with the printed "Guidelines for Fire Service Installation" in the installation and maintenance of the Fire Protection System. Customer shall coordinate final field location of the protection with the District.

3. No connections shall be made to the Customer's fire protection system for any purpose other than for protection.

4. The "Guidelines for Fire Service Installation" are attached hereto and incorporated by reference herein as if repeat verbatim herein.

5. The Customer shall pay the District for all water used from the fire protection system. Prior to making the first bill, or other subsequent water use from the fire protection system the Customer shall give the District 24 hours notice so that representatives of the District can be present at the date of each every usage to monitor the quantity of water used. Should notice be unchanged from the fire protection system unknowingly or unknowingly, the Customer shall be liable for multiple vehicle 24 hours after such use, or even so due to reasons of the quantity of water used due for details.

Water used from the fire protection system shall be paid for according to the District's standard rate schedule or any future schedules of the District as approved by the Public Service Commission of Kentucky

6. The Customer shall pay bills for service listed above for detector of connection to the District's system as set forth in the standard rate schedule of the District as approved by the Public Service Commission of Kentucky

7. The Customer shall engineer to the protection system in good condition and will make timely repairs of leaks that may occur in said system. Further to the Customer's fire protection system shall be determined by the District should a leak develop that Customer had leaked and repaired within a reasonable time as determined by the District

8. It shall be the Customer's responsibility to make periodic tests to assure the proper operation of the double detector check valve installation, in accordance with all applicable laws and regulations.

9. The District does not guarantee a water supply to the Customer's fire protection system in any particular flow rate or pressure. Furthermore the Customer will indemnify and hold harmless the District and its employees against loss and against all claims, demands, losses and expenses incurred as a result of installation of the Customer's fire protection system. The Customer shall be responsible for the cost of any required water supply improvements. This service is limited to back of main line determined to be adequate for this service by the District and all approvals of State Fire Marshal, Kentucky Water Resources and Environmental Protection Cabinet and any other applicable agency will be required before installation is finally approved for service.

10. If the Customer fails to comply with the terms of this Agreement and any other applicable rules and regulations of the District, service to the Customer may be discontinued by the District at any time.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by duly authorized officers on the date first above written.

JESSAMINE COUNTY WATER DISTRICT No. 1

BY: _____
CHAIRMAN

_____
SECRETARY OF THE BOARD

_____
NOTARY PUBLIC

_____
PHONE NUMBER

NOTE :
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				PROJECT:	DATE:	NO:		
				SCALE: N.T.S.				
				DESIGNED BY				
				DRAWN BY				
				CHECKED BY				
				REVISED BY				

3 HYB CIRCLE
FRANKFORT, KENTUCKY
(502) 695-5000
(502) 695-5002 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD FIRE PROTECTION SYSTEM

SD7

JESSAMINE COUNTY WATER DISTRICT No. 1

GUIDELINES FOR FIRE SERVICE INSTALLATION

March 7, 2013

The following are general guidelines for installation of fire protection systems within the service territory of Jessamine County Water District No. 1 (JCWD1). These should be submitted in minimum acceptable standards. The final design of all components of the system is the responsibility of the property owner/developer and his design consultants. Should the designer find that these standards are inadequate for a feasible project, alternative designs may be submitted for review, as long as the minimum acceptable proposed items are satisfied.

When it is necessary for the customer to have fire line for fire protection purposes, there shall be installed in the main line a device known as a "Double Detector Check Valve Assembly" with a metered bypass. A detailed drawing of the proposed fire main and the plan for which shall be submitted to the City of the proposed installation. Where any feasible, the JCWD1 has review and approval prior to construction. Any construction activities completed prior to JCWD1 approval of submitted plans shall be subject to the property owner/developer's risk.

The metered bypass shall be of utilization that is never opened except without authorizing the "Double Detector Check Valve Assembly". The "Double Detector Check Valve Assembly" shall be manufactured in accordance with current AWWA standards and applicable local and local rules and regulations.

Property owners or developers that install the appropriate systems that employ a fire department connection (FDC) shall furnish a 4-bolt "Storz" fitting with cover attached to a 30-degree downturn on the FDC outlet fitting. The downturn from the ground to the horizontal of the fitting shall be no less than 24 inches and no more than 30 inches. All FDC's shall be secured at least 12 feet away from the structure, unless the installation of a non-operable system or other approved means of protection is provided. Where the FDC is located in a parking area, it shall be protected by bollards or other protection. The FDC shall not be obstructed in any way that would hinder access or operation from a fire department apparatus. If the FDC is to be permanently inoperable because of a fire protection system, or other reasons, the FDC shall be permanently removed. JCWD1 shall be provided written notice of such action.

JCWD1 shall install at cost to existing water mains. Under no circumstances shall the property owner/developer or his agent tap existing JCWD1 water mains. All taps shall include a tapping sleeve and valve. The tapping sleeve and valve shall be installed in accordance with JCWD1 standards. The fire suppression system shall connect to the JCWD1 system at the tapping valve furnished by JCWD1. Only JCWD1 personnel shall operate the tapping valve.

JCWD1 will provide the property owner/developer for the actual cost of the installation of the tapping sleeve and valve. An estimate of this cost may be provided for budgeting purposes prior to the work, upon request of the property owner/developer.

The suggested fire mark shall be subject to inspection and approved by JCWD1 personnel prior to the commencement of water service.

The property owner/developer shall be responsible for maintenance JCWD1 for all expenses related to the installation of a fire protection system. These expenses may include, but shall not be limited to: replacement of the tapping sleeve and valve, or other service lines, or other costs associated with the proposed fire protection system, and/or damage to JCWD1 water mains or other facilities, or related, legal fees, etc. The owner shall be provided with all fees or charges as prior to bill.

WATER MAIN

A. Polyvinyl Chloride Pipe (PVC) - A minimum of 200 psi, Pressure Class of 150 psi and conform to the latest edition of AWWA C900, meet the NSF approval and manufactured in conformance with latest AASTM standards.

B. Fittings - All fittings and accessories shall be Ductile Iron, rated for a minimum of 250 PSI working pressure. The fittings and accessories shall be new and unused. All flanged fittings shall utilize mechanical joint fittings. Mechanical joints shall conform to AWWA C111, latest edition.

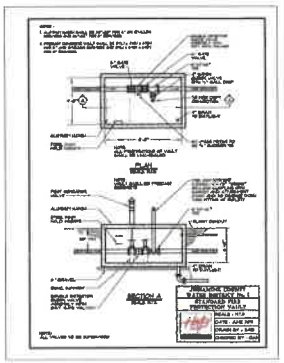
C. Valves - All valves shall open by turning counter clockwise. Valves 12 inches and smaller shall be resilient seated gate valves, non-rising stem with "O" ring sealing with rated at 200 PSI continuous working pressure and conform to the applicable portions of AWWA. Resilient CRN, latest edition. Tapping sleeve and valves shall be designed for a minimum working pressure of 200 PSI. The tapping sleeve together with the tapping valve must be rated at 200 PSI for 30 minutes with no loss of pressure. All gate valves shall have tapping sleeves shall be installed on the main of water to be tapped. Tapping sleeves shall have test and concrete collar to allow the access to the valve for operation from the surface.

D. Fire Hydrants - All fire hydrants shall be Mueller A421, double nozzle with two 4 ½ hose nozzles. Fire hydrants shall be capable of flowing 1000 GPM at 20 PSI measured at hydrants within the Mechanicsville City Limits.

E. Meters - Badger metered 1½ type ¾" by-pass meter shall be installed on "Double Detector Check Valve Assembly" by fire protection contractor.

F. Pits Vaults - Minimum inside vault dimensions shall be 3' (L) x 4' (W) x 8' (D) for proposed provision of 6" meter, and shall be 8' (L) x 4' (W) x 8' (D) for 8" meters. The vault shall be watertight and top of the vault shall be a flushed grade level. Pressure vaults shall be constructed of concrete, and shall be 8" thick walls and floor. Pressure vaults shall have an opening to the existing water main and shall have line in daylight as Schedule 40 PVC pipe if possible. Vaults shall have a minimum 30" x 30" aluminum hatch for 6" and smaller services and a 36" x 36" aluminum hatch for 8" services. Hatches shall be in accordance with JCWD1 standards.

G. Double Detector Check Valve Assemblies - Double detector check valves shall be installed in the horizontal position, with elevation space to facilitate maintenance and testing. Control valves for double detector check valve assembly shall be also installed upstream thereof and use post indicator type. Acceptable manufacturers are: Watts, Ames, Febco or Wilkins.



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				PROJECT:	DATE:	NO:		
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				DESIGNED BY				
				DRAWN BY				
				CHECKED BY				
				REVISED BY				

3 HYB CIRCLE
FRANKFORT, KENTUCKY
(502) 695-5000
(502) 695-5002 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD FIRE PROTECTION SYSTEM

SD8

STATE OF KENTUCKY
AUSTIN D SWINEY
36808
LICENSED PROFESSIONAL ENGINEER
6/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 196-A
1060 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

JCWD #1 STANDARD DETAILS

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SHEET 9B
JOB# 23153
DRAWN AD/SK/JH
ENGINEER JDB

BORING BY EXCAVATOR FOR AFTERWATER LOCATION OF UNDERGROUND PIPELINE

The undersigned Excavator requests Jessamine County Water District No. 1 to mark the approximate location of the underground water pipeline at a place within the service of the water district as set forth in the attached "Excavator Information" Form.

Notice is given to Excavator that the underground pipeline (various sizes) may not be located as accurately as possible from field location records available to the district. See 142 KAR 2:020(1).

THE EXACT LOCATION, DEPTH OF THE WATER DISTRICT'S FOR UNDERGROUND PIPELINE MAY BE INACCURATE. THE EXACT LOCATION OF THE UNDERGROUND PIPELINE CANNOT BE DETERMINED WITHOUT HAND-DIGGING BY THE EXCAVATOR OR NONDESTRUCTIVE MEANS TO AVOID DAMAGE TO THE UNDERGROUND PIPELINE.

The Rules and Regulations of Jessamine County Water District No. 1 (Chapt No. 46 - filed with the Kentucky Public Service Commission) provide, in part as follows:

> 8. Any person, firm or organization working around or near the District's mains, appurtenances, or other property may request the District to indicate the location of same. However, inquiries by the District does not relieve such person of complete responsibility and liability and has to the District's property resulting from acts of such person or agents of such person.

Excavator shall indemnify or save satisfactory means to locate the underground water pipeline to avoid damage to that underground water pipeline or facility when excavation or disturbance is necessary within the approximate location of the underground water pipeline.

THE UNDERSIGNED EXCAVATOR AGREES NOT TO PERFORM ANY EXCAVATION OVER THE UNDERGROUND WATER PIPELINE UNTIL HAS ACTUALLY LOCATED BY HAND-DIGGING OR BY USE OF NONDESTRUCTIVE MEANS.

1

THE UNDERSIGNED EXCAVATOR AGREES TO ASSUME COMPLETE RESPONSIBILITY AND LIABILITY FOR ANY LOSS TO THE WATER DISTRICT PROPERTY RESULTING FROM ANY ACT OF THE EXCAVATOR OR THE AGENTS OF SAID EXCAVATOR IN CONNECTION WITH THE USE OF SAID EXCAVATOR OF SAID WATER DISTRICT.

Excavator shall immediately notify the Water District of any damage or break in the line.

Excavator shall comply with all applicable laws related to the excavation of underground water pipelines and facilities.

Excavator noted that the "Excavator Information" sheet attached serves as examples and examples, and is incorporated by reference herein.

Excavator agrees to comply with all Rules and Regulations of the Water District and all applicable laws related to this excavation.

Excavator agrees (together with all heirs, successors and assigns) to be bound by the terms of this contract as set forth above.

Dated: _____, 20__.

EXCAVATOR

Title: _____

Witnessed by:

Received by:

on _____, 20__.

JESSAMINE COUNTY WATER DISTRICT No. 1

2

EXCAVATOR INFORMATION

a) Name of Excavator:

Address:

Telephone:

b) Site location of Excavation:

c) Type & Extent Excavation:

d) Date or Dates of Excavation: _____

e) Contact name and telephone of the person responsible for the work to be performed:

Name: _____

Telephone: _____

3

NOTE :
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PROJECT: JCWD	DATE: FEB. 2010		
NO.	DATE	REVISION	CHECK	APPROV	DATE
DESIGNED BY	DJS		
DRAWN BY	DJS		
CHECKED BY	TJG		
REVIEWED BY	DJS		
REVISED CODE			

3 HHB CIRCLE
FRANKFORT, KENTUCKY
(502) / 695-5000
(502) / 695-5010 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD DETAILS - LOCATE DOCUMENTS

SD9

JESSAMINE COUNTY WATER DISTRICT No. 1
CONSTRUCTION CHECKLIST
(Revised 6/28/17)

1. Name of development _____
2. Name, address, phone no. of Owner / Developer _____
3. Name, address, phone no. of Developer/Owner's Engineer _____
4. Letter from District to Developer of issues stating review from District.
5. Contract delivered for fee assessment. Developer to Developer but _____ (Developer) Required by _____ Date _____
6. Review of preliminary plat:
   - a. Approval of Commissioners
   - b. Approval of District's Engineer
   - c. Meet meet City of Nicholasville's specifications, if in City Limits.
   - d. Approval from Division of Water
   - e. Water Line on dedicated 30' utility Easement or Owner provides 30' easement to District.
7. Developer's comments signed by Owner
8. Signed preliminary plat and copy for office
9. Contract to bill Owner monthly any expenses relating to assessments.
10. If including sprinkler system must
    - a. Sign Defender Check Valve contract.
    - b. Approval of District
    - c. Approval of District's Engineer (Submit Site Plan and Work Details)
    - d. Approval of Planning Authority
    - e. Approval of City if Project is within City Limits
    - f. Hydrants are responsibility of the Owner/Developer's Engineer
11. Construction of water line:
    - a. Final Construction Plans reviewed and approved by District's Engineer (provide 2 sets of paper plans and 1 pen/reproducible mylar/pdf copy of plans on CD to District's Engineer).
    - b. Construction Plans submitted stamped by licensed Professional Engineer in Kentucky
    - c. Name and phone number of Contractor _____
    - d. Water District will make all connections to existing lines
    - e. Developer must submit final Drawings/contract information to District for review prior to starting construction
    - f. Water District will open any valves in District's system.
    - g. Water District must see new and factory it is installed.
    - h. Water District will inspection disinfection of new lines.
    - i. Water District will determine pressure test of new lines.
    - j. Bacteriological testing will be coordinated by District.
    - k. District facilities at Point of Certification (at least 40 feet point) (size _____)
    - l. If fire hydrants are installed, a register of Engineer must certify the City and DOW that they meet City and State requirements. Fire hydrants shall be Medium Super Centurion 250, marine resistant A-423.
    - m. Project inspection is to be provided by the District, at the Developer/Owner's expense. The District's inspection is only to assure acceptable methods of construction. It is not the District's responsibility to enforce the blueprint/concerns of the plans. This is the responsibility of the Developer/Owner's Engineer. The Developer/Owner's Engineer must provide adequate construction observation to certify the project to the District of Water without qualifications.
    - n. All connections and all mains must be a minimum of 30' in width.
    - o. The Water District will install all customer service meters and appurtenances.
    - p. All field tests required including cleaning and flushing of water mains, with all options appropriately arranged and with officials.
    - q. Required utility marking tape shall be installed in the trench directly over all water mains, at a depth of approximately 18 inches.
12. Project Completion:
    - a. Owner certifies certification to Division of Water that water lines have been constructed and tested, signed by registered Professional Engineer.
    - b. Provide to District:
      - 1. Sealed Drawings (1 paper copy, 1 pen/reproducible electronic AutoCAD copy on CD)
      - 2. Length of line installed provided to District
      - 3. Approximate size of line provided to District
      - 4. Letter authorizing line to District
      - 5. Payment of current bills up to date
      - 6. Date of 1 yr warranty expiration
13. Sign New File:
14. Before leaves we let out:
    - a. Read plumbing permits from county health department
    - b. Meter line and let District
    - c. Must comply with City sewer tap fee. Interim repay a copy of receipt showing payment to City of Nicholasville if development is within city limits and heading on to the sewer.

Note: No sewer will be provided by JCWD; until this checklist is completed in full.

DEVELOPMENT PLAN REVIEW REQUIREMENTS FOR ADDITIONAL SUBDIVISION PLANS WITHIN JESSAMINE COUNTY WATER DISTRICT NO.1

JESSAMINE COUNTY WATER DISTRICT NO. 1 will consider the following statement, letter or endorsement to be indicative of a subdivision newly formed, for approval of subdivision plans when the water distribution system has not been installed, dedicated, approved and accepted by the adjacent water district in conjunction with Final 100.281 (4) and applicable subdivision planning and zoning regulations of the City of Nicholasville Planning Commission and Jessamine County-City of Nicholasville Joint Planning Commission.

REQUIRED STATEMENTS OR LETTERS FROM PROPERTIES ENVELOPED AS CLEARING, PRIOR OR ADDRESSED TO THE DISTRICT

1. The subdivision newly formed is a primary home regulated by KRS 100.201 (4) and all of applicable Kentucky laws, including the planning and zoning laws and regulations of the local jurisdiction, City of Nicholasville, City of Nicholasville Planning Commission, Jessamine County - City of Nicholasville Joint Planning Commission and Jessamine County.

2. This subdivision newly formed adult remain in full force and effect until the completion of all physical improvements of streets, utilities and other facilities including the water distribution systems and easements and dedicated by all adjacent facilities, including the Jessamine County Water District No.1.

3. The following Covenants (1) time schedule of limitations, under KRS 413.090(3) shall be applicable to this subdivision newly formed.

4. When this Plant has been completed in compliance with a statutory or other legal requirements, the developer hereby acknowledges that to be authorized, the improvements to the developer's property must be accepted by the Jessamine County Water District No.1 and the developer's property must be dedicated to the public statutory or other legal requirements shall be delivered transmitted hereto. When so furnished, the Plant is that this Plant shall be dedicated as a statutory hand and not a common law hand.

5. This subdivision newly hand is bound as a condition precedent to the approval of any plat of the developer to assure proper completion of physical improvements (including the water distribution system) pursuant to the authority of KRS 100.281 (4) and other applicable ordinances, regulations and law.

6. Any subdivision newly hand shall strictly comply with the subdivision regulations of the appropriate planning and zoning commission with indication of Jessamine County Water District No. 1 as a numbered party and obligee for such bond or bonds as are reasonably necessary to complete the water distribution system in accordance with the local ZO subdivision regulations of the respective planning commissions of Jessamine County, Nicholasville, plus all costs and expenses required to enforce this bond, including, but not limited to, engineering, attorney and court fees.

7. The terms and conditions of paragraphs 1 through 6 above shall supersede, invalidate, void and delete any provision of the bond as the contrary or in conflict therewith and such conflicting provisions shall be treated as mere surplusage without affecting the validity of the bond.

NOTE :
THE DOCUMENTS DEPICTED HEREIN ARE FOR INFORMATION ONLY. COPIES OF ALL DOCUMENTS FOR EXECUTION MUST BE OBTAINED FROM JCWD No. 1 BY CALLING (859) 885-9614.

PROJECT: JCWD	DATE: FEB. 2010		
NO.	DATE	REVISION	CHECK	APPROV	DATE
DESIGNED BY	DJS		
DRAWN BY	DJS		
CHECKED BY	TJG		
REVIEWED BY	DJS		
REVISED CODE			

3 HHB CIRCLE
FRANKFORT, KENTUCKY
(502) / 695-5000
(502) / 695-5010 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD DETAILS - DOCUMENTS

SD10

JESSAMINE COUNTY WATER DISTRICT No. 1
3520 Lexington Road
Nicholasville, Kentucky 40356
Phone (859)885-9614
Fax (859)881-0034

TO: JESSAMINE COUNTY WATER DISTRICT No. 1

RE: REQUEST FOR CHANGE OR ALTERATION OF WATER LINE

The undersigned requests a change or alteration of the water line of Jessamine County Water District No. 1, as follows:

1. LOCATION OF LINE: _____
2. REASON FOR CHANGE OR ALTERATION: _____
3. DATE WHEN CHANGE IS NEEDED: _____
4. NAME, PHONE AND ADDRESS OF APPLICANT: _____
5. NOTE: Any drawings, plans or sketches attached for ACTS IT review: _____

APPLICANT REQUESTS APPROVAL OF THE CHANGE OR ALTERATION AND DETERMINATION OF THE ESTIMATED COSTS OF THE CHANGE FOR A PREPAYMENT TO BE PAID TO THE WATER DISTRICT.

APPLICANT FURTHER AGREES TO PREPAY IN ADVANCE ALL ESTIMATED COSTS AND EXPENSES RELATED TO THE CHANGE OR ALTERATION OF THE WATERLINE AND TO PREPAY ANY AND ALL ADDITIONAL COSTS AND EXPENSES WHICH MAY RESULT FROM THE CHANGE OR ALTERATION, INCLUDING, BUT NOT LIMITED TO, CHANGE ORDERS OR ADDITIONAL COSTS OR EXPENSES NOT KNOWN OR ANTICIPATED AT THE TIME OF THE INITIAL REQUEST FOR A CHANGE OR ALTERATION OF THE WATERLINE. A REFUND TO APPLICANT WILL BE MADE FOR ANY PORTION OF THE PREPAYMENT WHICH EXCEEDS THE ACTUAL COSTS AND EXPENSES OF THE CHANGE OR ALTERATION.

DATED: _____

APPLICANT

RECEIVED AND WITNESSED BY:

JESSAMINE COUNTY WATER DISTRICT No. 1

JESSAMINE COUNTY WATER DISTRICT No. 1
3520 Lexington Road
Nicholasville, Kentucky 40356
Phone (859)885-9614
Fax (859)881-0034

REQUIREMENTS FOR CHANGE OR ALTERATION OF WATER LINE(S) OF JESSAMINE COUNTY WATER DISTRICT No. 1

Any requests by third parties for changes or alterations of the water lines of Jessamine County Water District No. 1 shall comply with the following:

1. Any proposed change or alteration shall be made in writing with details of the location of the line and any drawings or plans submit to the reason and need for the change or alteration.

2. Expenses of the work related to the changes or alterations shall be made by the District, which shall include construction costs, consultant fees, survey fees, attorney fees or any other applicable expenses related to the project.

3. No change or alteration shall be made until approved in writing by Jessamine County Water District No. 1 and the total amount of the estimated cost of the changes or alterations has been prepaid in advance by certified check, money order or cash. Applicant shall pay the actual expenses which exceed the prepaid estimated expenses.

4. A refund to applicant will be made for any portion of a prepayment that exceeds the actual costs and expenses of the changes or alterations of the waterline.

JESSAMINE COUNTY WATER DISTRICT No. 1
3520 Lexington Road
Nicholasville, Kentucky 40356
Phone (859)885-9614
Fax (859)881-0034

APPROVAL OF WATER SYSTEM CHANGE OR ALTERATION

TO: _____

LOCATION: _____

Jessamine County Water District No. 1 approves the request of the above applicant for a change or alteration of the water system of Jessamine County Water District No. 1 subject to the conditions being made by the engineers authorized and designated by the District in accordance with all applicable market regulations and conditioned upon prepayment to the District of the sum of:

$. _____

As shown by the attached construction estimates or other expenses related to this change or alteration.

Prepayment shall be made by certified check, money order or cash.

Any Change Order or increase of expenses shall be submitted and approved by Jessamine County Water District No. 1 with prepayment of the increased expense before any of the additional construction is begun.*

DATED: _____

Jessamine County Water District No. 1

BY: _____

NOTE :
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PROJECT: JCWD	DATE: FEB. 2010		
NO.	DATE	REVISION	CHECK	APPROV	DATE
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REVIEWED BY	DJS		
REVISED CODE			

3 HHB CIRCLE
FRANKFORT, KENTUCKY
(502) / 695-5000
(502) / 695-5010 FAX

JESSAMINE COUNTY WATER DISTRICT No. 1
JESSAMINE COUNTY, KENTUCKY

STANDARD DETAILS - REQUEST FOR CHANGE

SD11

STATE OF KENTUCKY
AUSTIN D. SWINEY
38608
LICENSED PROFESSIONAL ENGINEER
8/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1561 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 196-A
1550 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

JCWD #1 STANDARD DETAILS

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.9020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
9C	08/23/2024	1	
		2	
JOB# 23153		3	
DRAWN AJS/KJH		4	
CHECKED JDB		5	

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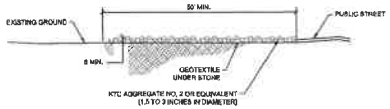
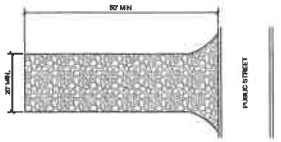
P:\projects\FY21\23 Standard Details\AJS\23 dwg, 2/5/2018 9:53:11 AM, DWG To PDF.pc3

P:\projects\FY21\23 Standard Details\AJS\23 dwg, 2/5/2018 10:02:08 AM, DWG To PDF.pc3

Drawing: 23153_SD_Waterline Details.dwg

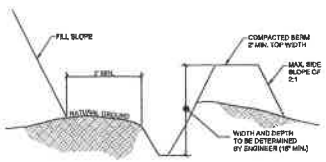


CROSS SECTION

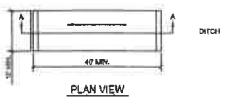


PLAN VIEW

CONSTRUCTION ENTRANCE



TEMPORARY DIVERSION DITCH



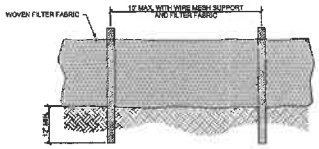
PLAN VIEW

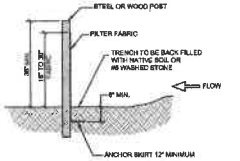
SECTION A-A

TEMPORARY SEDIMENT TRAP

TEMPORARY SEDIMENT TRAP NOTES:

1. THE SIZE, SHAPE AND LOCATION OF TRAP MAY BE ADJUSTED FROM THAT SHOWN IN THE CONSTRUCTION PLANS, AS DIRECTED BY THE ENGINEER.
2. THE SEDIMENT TRAP MAY BE CONSTRUCTED AS DIRECTED BY THE ENGINEER, AS LONG AS THE AREA AND DEPTH IS AT LEAST AS THAT INDICATED ON THE PLANS.
3. SEDIMENT TRAP SHALL BE CONSTRUCTED BY EXCAVATING THE BASIN IN NATURAL OR EXCAVATED CHANNELS. SEDIMENT DEPOSITS IN TRAP SHALL BE REMOVED EACH TIME THE TRAP IS APPROXIMATELY 50 PERCENT FILLED. WHEN THEIR USEFULNESS HAS ENDED, THE TRAPS SHALL BE REMOVED. SURPLUS MATERIAL DISPOSED OF AND THE ENTIRE DISTURBED AREA SHALL BE SEEDED AND PROTECTED OR SODDED, AS DIRECTED. SEDIMENT TRAPS MAY REMAIN IN PLACE UPON COMPLETION OF THE PROJECT ONLY WHEN PERMITTED BY THE ENGINEER OR THE PLANS.





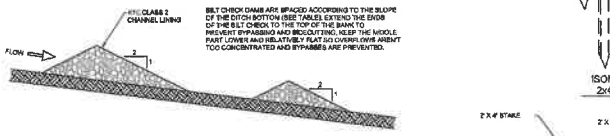
SILT FENCE DETAIL

TEMPORARY SILT FENCE GENERAL NOTES:

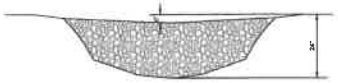
1. FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER. WHEN JOINTS CANNOT BE AVOIDED, FILTER FABRIC SHALL BE SPLICED TOGETHER ONLY AT A POST WITH 3 FOOT MIN. OVERLAP, AND SECURELY SEALED.
2. POSTS SHALL BE SPACED AT 6 FOOT INTERVALS IN AREAS OF RAPID RUNOFF.
3. POSTS SHALL BE AT LEAST 5 FEET IN LENGTH.
4. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE AND FABRIC.
5. WOOD POSTS SHALL BE 2 INCHES BY 2 INCHES OR EQUIVALENT. STEEL POSTS SHALL SE 1.3 LBS PER LINEAR FOOT.
6. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH IN LENGTH, WIRE TIES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. WASHED STONE SHALL BE USED TO BURY SKIRT WHEN SILT FENCE IS USED ADJACENT TO A CHANNEL, CREEK, OR POND.
8. TURN SILT FENCE UP SLOPE AT ENDS.

SPACING FOR SILT CHECK DAMS		
DITCH SLOPE	SILT CHECK DAM SPACING	ADDITIONAL INFORMATION
50%	10 ft.	CALCULATED FOR 2' HIGH SILT CHECK DAMS.
20%	15 ft.	
10%	20 ft.	
10%	35 ft.	CENTER OF DAM SHOULD BE 6" LOWER THAN SIDES.
5%	50 ft.	
3%	100 ft.	
2%	150 ft.	USE 8"-10" ROCK, STONE BAGS, OR COMMERCIAL PRODUCTS.
1%	300 ft.	
0.5%	500 ft.	

SILT CHECK DAMS ARE SPACED ACCORDING TO THE SLOPE OF THE DITCH BOTTOM (SEE TABLE). EXTEND THE ENDS OF THE SILT CHECK TO THE TOP OF THE BANK TO PREVENT BYPASSING AND SCOURING. KEEP THE MIDDLE PART LOWER AND RELATIVELY FLAT SO OVERFLOWS AREN'T TOO CONCENTRATED AND BYPASSES ARE PREVENTED.

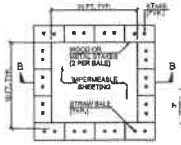


LONGITUDINAL SECTION SHOWING SPACING BETWEEN CHECK DAMS

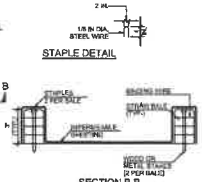


SECTION ACROSS CHANNEL

STONE SILT CHECK DETAIL



PLAN

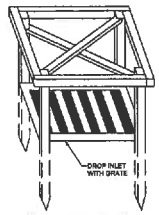


SECTION B-B
NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FOOT DEPTH

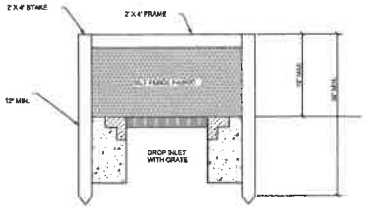
WASHOUT STRUCTURE WITH STRAW BALES

CONSTRUCTION SPECIFICATIONS

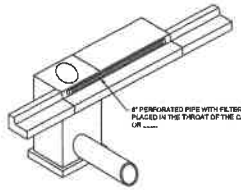
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



ISOMETRIC VIEW OF 2x4 WOOD FRAME



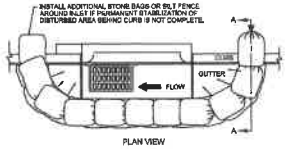
CROSS SECTION VIEW



NOTE: SAND BAGS MAY BE USED IN PLACE OF THE PERFORATED PIPE WITH SLEEVE.

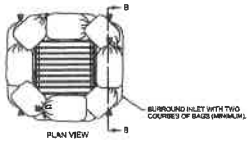
1' 6" X 2' 4" WOVEN POLYPROPYLENE BAGS. FILLED 1/2 TO 2/3 FULL WITH #57 STONE.

SECTION B-B



PLAN VIEW

SECTION A-A



PLAN VIEW

CATCH BASIN/DROP INLET PROTECTION OPTIONS

Best Management Practices General Notes:

1. The purpose of this plan is to minimize or eliminate the transport of potential sediments and other contaminants across and off the construction site.
2. The Contractor shall be responsible for securing all required permits. No grading, excavating, stripping, filling or other construction activity shall occur until the following occurs:
   - The Best Management / Best Erosion Control Plan is approved by the Governing Agency.
   - The NOI is filed with the Division of Water in Frankfort and a copy is provided to the Governing Agency and the Engineer.
   - The Erosion Control / Best Management features are installed and inspected and approved by the Engineer and the Governing Agency. (Note: This shall also include any tree protection fencing as required by the Approved Development Plan).
   - A Grading Permit is obtained and a copy is provided to the Engineer.
3. The Contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the engineer or the governing agency. All disturbed areas are to drain to approved sediment control devices at all times during land disturbing activities and during site development until final stabilization is achieved.
4. Any deviation from the Erosion Control / Best Management Plan must be approved by the Engineer.
5. The contractor shall be responsible for providing and maintaining construction entrances and shall keep all roads and streets free from mud dirt and debris.
6. The contractor shall inspect all erosion and sediment control measures at least once every seven calendar days and within 24 hours after the end of a storm event of 1/2 inch or greater. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately within 24 hours.

   Methods to control sediment and erosion shall include the following:

1. Minimize clearing and grubbing. Allow as much existing vegetation on site to remain as long as possible before disturbing. This includes both trees and grass. Only those areas that are within the construction limits will be disturbed. Allow areas that eventually must be disturbed to remain undisturbed for as long as possible.
2. Sequenced construction to minimize the exposure time of cleared surface areas. Grading activities must be avoided during periods of highly erosive rainfall. Stage entire phase construction activities. Areas of one phase must be stabilized before another phase can be initiated. Stabilization shall be accomplished by temporarily or permanently protecting the disturbed soil surface from rainfall impact and runoff.
3. Minimize the time that the soil is exposed. Only disturb the soil when necessary. Only disturb areas that are essential to construction operations. Provide temporary grass cover to disturbed soil areas that must remain disturbed for an indefinite period of time. Provide permanent grass cover to disturbed soil areas once construction is complete.
4. All surface water flowing toward the construction area shall be diverted around the construction area to reduce its erosion potential using dikes, berms, channels or sediment traps as necessary. Temporary diversion channels must be lined to expected high water level and protected by non-erodible material to minimize erosion. Clean rock check dams shall be properly constructed to detain run-off and trap sediment. Prevent run-off from flowing across disturbed soil areas. Divert run-off to existing vegetated areas and provide temporary diversion dikes or swales to divert run-off to the vegetated areas.
5. Refer to the City of Nicholasville BMP Manual for additional information on erosion control. Also, refer to the Kentucky Erosion Prevention and Sediment Control Field Guide.
6. Some minimum measures that must be implemented may include:

   Soil Stabilization Measures
   - Temporary seeding
   - Permanent seeding
   - Mulching
   - Construction entrance/exit
   - Dust and pollutants control

   Runoff Control Measures
   - Check Dams
   - Outlet Protection

   Sediment Control Measures:
   - Sediment basins
   - Silt Fence
   - Storm drain inlet protection
   - Silt traps

In addition to preventing sediment and erosion control during construction, the contractor must minimize or eliminate the potential for chemical contaminants to enter the soil or be carried across the site by storm water. Potential contaminants normally associated with construction activity include gasoline and diesel fuel, oil, grease, antifreeze, lubricants and treatment chemicals, fertilizer, stored silt site, emulsions and small particle size construction debris. The contractor must employ various best management practices to eliminate or minimize the potential for these contaminants to reach the soil and/or drainage systems.

Contractor and Subcontractor Certification:

All contractors and subcontractors who will implement any control measure or perform any soil disturbing activities must sign a copy of the certification statement below. The certification must include the name and title of the person providing the signature, the name, address and telephone number of the contractor firm, the address or other identifying description of the site and the date the certification is made.

"I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) Permit that authorizes the storm water discharges associated with industrial activity from the construction site identified as part of this certification."

Name: _____
Company: _____
Title: _____
Address: _____
Phone: _____
Signature: _____

STATE OF KENTUCKY AUSTIN O. SWINEY 35800 LICENSED PROFESSIONAL ENGINEER
06/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1801 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195-A
1650 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

BEST MANAGEMENT PRACTICES PLAN

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.0020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
10	06/23/2024		1
			2
JOB 23153			3
DRAWN ADS/KJH			4
DESIGNED JDB			5

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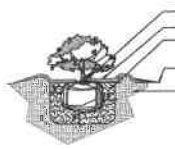
Drawing: 23153_10_BMP.dwg

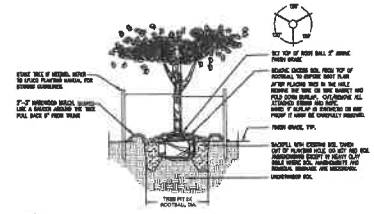


NOTES:
1. PRUNE TO REMOVE DEAD OR BLAMED BRANCHES AND SHOOT THAT ARE CROSSING AND IN CONTACT WITH OTHER BRANCHES.
2. MULCH RING SHALL BE PLACED WELL BEYOND BEYOND PLANTING AND SHALL BE VERY BALL OF NATURALLY BLT.
3. IN FROZEN GROUND, COMPACTED SOIL PRIOR TO PLANTING. BEFORE PLANTING THE BALL, VERT SPRINKLE OF THE HOLE IN FROZEN A FEW INCHES OF WARM AND THE SOIL. IF THE SOIL DOES NOT SOAK IN AFTER ONE HOUR CONTACT LANDSCAPE ARCHITECT FOR DETAIL FOR THAWING GROUND.
4. CONTRACTOR SHALL REMOVE THE REPLACEMENT BALL, GIRDLING ROOTS AND TWO ROOTS PRIOR BEING THE MAIN ROOTS. PLANTS WITH LARGE GIRDLING ROOTS SHALL BE REJECTED AND REPLACED FOR REMOVAL OF EQUAL SPECIFICATION.
5. CONTRACTOR TO PRUNE OFF ALL ROOTS ON THE OUTER EDGE OF THE ROOT BALL OF CONTAINER GROWN PLANTS. AFTER PRUNED ROOTS SHOULD BE LEFT IN A RADIAL RELATIONSHIP TO THE TRUNK, DISCOURAGE CURVED GROWN.

SHRUB

SCALE: NOT TO SCALE

A
11A



NOTES:
1. PRUNE TO REMOVE DEAD OR BLAMED BRANCHES AND SHOOT THAT ARE CROSSING AND IN CONTACT WITH OTHER BRANCHES.
2. DO NOT REMOVE MORE THAN 1/3 OF BRANCH BUDDS. DO NOT CUT LEADER. TREE MUST RETAIN NATURAL GROWN SHAPE.
3. MULCH RING SHALL BE PLACED WELL BEYOND BEYOND PLANTING AND SHALL BE VERY BALL OF NATURALLY BLT.
4. IN FROZEN GROUND, COMPACTED SOIL PRIOR TO PLANTING. BEFORE PLANTING THE BALL, VERT SPRINKLE OF THE HOLE IN FROZEN A FEW INCHES OF WARM AND THE SOIL. IF THE SOIL DOES NOT SOAK IN AFTER ONE HOUR CONTACT LANDSCAPE ARCHITECT FOR DETAIL FOR THAWING GROUND.
5. CONTRACTOR SHALL REMOVE THE REPLACEMENT BALL, GIRDLING ROOTS AND TWO ROOTS PRIOR BEING THE MAIN ROOTS. PLANTS WITH LARGE GIRDLING ROOTS SHALL BE REJECTED AND REPLACED FOR REMOVAL OF EQUAL SPECIFICATION.
6. CONTRACTOR TO PRUNE OFF ALL ROOTS ON THE OUTER EDGE OF THE ROOT BALL OF CONTAINER GROWN PLANTS. AFTER PRUNED ROOTS SHOULD BE LEFT IN A RADIAL RELATIONSHIP TO THE TRUNK, DISCOURAGE CURVED GROWN.

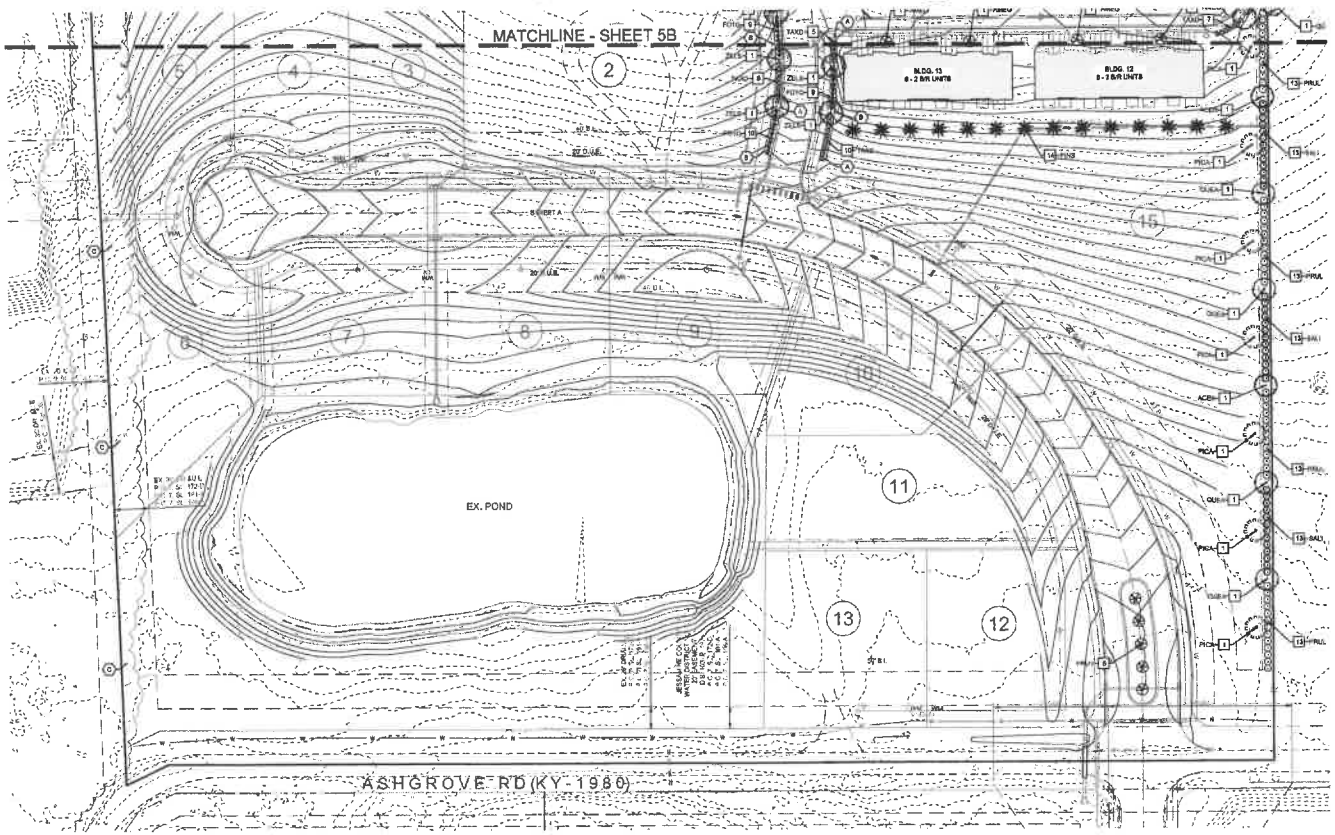
TREE

SCALE: NOT TO SCALE

B
11A

PLANTING SCHEDULE

ABBREV.	BOTANICAL NAME	COMMON NAME	MINIMUM CALIPER	MINIMUM SPREAD	MINIMUM HEIGHT	MINIMUM BALL DIA.	QUANTITY
	TREES - DECIDUOUS						
ACER	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2"	5'	12'	24"	6
NYSS	NYSSA SYLVATICA	BLACKGUM	2"	5'	12'	24"	30
QUAL	QUERCUS ALBA	WHITE OAK	2"	5'	12'	24"	14
TILA	TILIA AMERICANA	AMERICAN LINDEN	2"	5'	12'	24"	27
ZELS	ZELKOVA SERRATA	JAPANESE ZELKOVA	2"	5'	12'	24"	18
	TREES - EVERGREEN						
PICA	PICEA ABIES	NORWAY SPRUCE		6'	8'	28"	21
PINS	PINUS STROBUS	EASTERN WHITE PINE		6'	8'	28"	46
	TREES - FLOWERING						
AMEB	AMELANCHIER X 'GRANDIFLORA' 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	MULTI	4'	8'	18"	32
PRUY	PRUNUS YEDOENSIS	YOSHINO CHERRY	1.5"	4'	8'	18"	8
	SHRUBS - DECIDUOUS						
FOTG	FOTHERGILLA GARDENII	DWARF FOTHERGILLA		24"	24"	18"	128
BALI	SALIX INTEGRA 'FLAMINGO'	FLAMINGO DAPPLED WILLOW		36"	36"	18"	131
VIBJ	VIBURNUM X JUDII	JUDD VIBURNUM		36"	36"	18"	
	SHRUBS - EVERGREEN						
TAXD	TAXUS X MEDIA 'DENSIFORMIS'	YEW		24"	24"	18"	139
PRUL	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKA CHERRY LAUREL		24"	24"	18"	145



GENERAL PLANTING SPECIFICATIONS:

1. THESE DOCUMENTS ARE MEANT TO SERVE AS A GUIDE FOR CONSTRUCTION. MODIFICATIONS TO THE PLAN MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
2. ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS AS SET BY THE CITY OF NICHOLASVILLE PLANTING MANUAL.
3. CONTRACTOR TO PROVIDE PHOTOS AND SIZE FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER OF ALL PLANT MATERIAL PRIOR TO PROCUREMENT.
4. CONTRACTOR TO PROVIDE PLANTING SCHEDULE FOR ALL PLANT MATERIAL, INDICATING DIG TIMES, SITE DELIVERY, AND INSTALLATION DATES.
5. ALL SUBSTITUTIONS OF SIZES OR VARIETIES ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
6. IN THE EVENT THE PLANT LIST DIFFERS FROM THE PLAN, THE PLAN SHALL GOVERN. THE CONTRACTOR IS RESPONSIBLE FOR COUNTING PLANT QUANTITIES.
7. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES AND/OR IRRIGATION SYSTEMS BEFORE INSTALLATION.
8. USE CAUTION WHEN PLANTING TREES, ESPECIALLY IN AREAS OF EXISTING AND PROPOSED UTILITIES. TREES MAY BE MODIFIED IN THE FIELD TO MITIGATE ANY SUCH CONFLICTS. CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO ADJUSTMENTS.
9. TOPSOIL SHALL BE A NATURAL, FERTILE, LOAM POSSESSING CHARACTERISTICS COMMON TO PRODUCTIVE SOIL & IN THE BULEGRASS REGION. IT SHALL BE FREE FROM ROCKS, DEBRIS, NOXIOUS WEEDS, EXCESSIVE WEED OR PLANT WASTE, SUBSOIL, HEAVY CLAY, ROOTS AND STUMPS, OR ANY OTHER MATERIAL THAT MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS.
10. PLANTING BED PREPARATION: LOOSEN EXISTING SOIL AND IF NECESSARY ADD TOPSOIL IN A SUFFICIENT QUANTITY TO RAISE THE BED ABOVE THE FINISHED LAWN GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TO PREVENT PONDING OF WATER IN THE PLANTING BEDS. DO NOT RAISE BED GRADES, FINISHED GRADES, OR MULCH ABOVE THE FINISHED FLOOR ELEVATIONS.
11. ALL PLANTING BEDS SHALL BE SPADE EDGED 4-6" DEEP.
12. ALL PLANTING BEDS TO BE MULCHED WITH 2 - 3" STERILE, SHREDDED HARDWOOD MULCH OR EQUIVALENT. DO NOT USE DYED MULCH.
13. ALL EXTERIOR GROUND AREAS EXCEPT SURFACES OCCUPIED BY BUILDINGS, STRUCTURES, PAVING, MULCHING, AND AREAS TO BE LEFT UNDISTURBED, SHALL BE SEEDED OR SODDED ACCORDING TO THE REQUIREMENTS SET FORTH IN THE CITY OF NICHOLASVILLE PLANTING MANUAL.
14. CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN UP ASSOCIATED WITH THEIR WORK.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE UNTIL TIME OF FINAL APPROVAL AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL PROVIDE THE MAINTENANCE PROCEDURES, IN WRITTEN FORM, TO OWNER AT TIME OF ACCEPTANCE.
16. ALL PLANT MATERIALS, GROUNDCOVERS AND FINISHED WORK TO BE INSPECTED AND APPROVED BY THE OWNER BEFORE FINAL ACCEPTANCE.
17. CONTRACTOR SHALL PROVIDE AND INSTALL PLANT BRACING AND STAKING AS NEEDED OR REQUESTED BY THE LANDSCAPE ARCHITECT OR OWNER. BRACING TO BE EVALUATED AT THE TIME OF INSTALLATION. ALL BRACING SHALL BE INSTALLED PER CITY OF NICHOLASVILLE PLANTING MANUAL.
18. THE 1-YEAR GUARANTEE PERIOD SHALL BEGIN AT THE FINAL ACCEPTANCE OF THE PROJECT. AT THE CONCLUSION OF THE GUARANTEE PERIOD A FINAL INSPECTION OF THE WORK WILL BE MADE TO DETERMINE THE CONDITION OF THE PLANT MATERIAL. ALL PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED. REPLACE THE MATERIAL AT THE DIRECTION OF THE OWNER WITH PLANTING MATERIAL OF LIKE KIND AND SIZE, AND IN A MANNER SPECIFIED ON THE ORIGINAL PLAN AT NO EXTRA COST. GUARANTEE PERIOD ALSO APPLIES TO REPLACED MATERIAL.

MULCHING NOTES:

1. ALL TREES SHALL BE MULCHED WITH HARDWOOD MULCH PER PLANTING DETAIL ON THIS SHEET.

SEEDING NOTES:

1. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION AND SCHEDULED TO RECEIVE NO OTHER SURFACE TREATMENT.

SHEET NOTES:

A. HARDWOOD MULCH: TYPICAL ALL PLANTINGS
B. STEEL LANDSCAPE EDGING
C. EXISTING TREES TO BE PRESERVED

PLANTING LEGEND:

SHADE TREE
FLOWERING TREE
EVERGREEN TREE
SHRUBS

PLANT NOTE:

1. IN ADDITION TO THE PLANTS SHOWN ON THE LANDSCAPE PLAN, CONTRACTOR SHALL PROVIDE A PRICE FOR 10 SHRUBS & 4 ORNAMENTAL GRASSES PER UNIT (160 TOTAL UNITS). ADDITIONAL SHRUBS & GRASSES SHALL BE FIELD LOCATED.

The New Look For Digging Safely in Kentucky
Kentucky 811
Call 811 Before You Dig

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY 811 SAFELY (KUSE)" (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CATV, FO, PLPCTRC, WSFR, GAS, AND WATER/SEWER). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

GRAPHIC SCALE
1 inch = 50 feet

STATE OF KENTUCKY
Austin D. Givingy
36806
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1301 PAYNE STREET, LOUISVILLE, KY 40206

TRACT 1-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195-A
1650 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

LANDSCAPE PLAN

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.2020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED
11A	08/23/2024	1
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JOB# 23153
DRAWN: ADS/RJH
CHECKED: JDB

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Drawing: 23153_11_Landscape Plan.dwg

PLANT NOTE:

1. IN ADDITION TO THE PLANTS SHOWN ON THE LANDSCAPE PLAN, CONTRACTOR SHALL PROVIDE A PRICE FOR 10 SHRUBS & 4 ORNAMENTAL GRASSES PER UNIT (180 TOTAL UNITS). ADDITIONAL SHRUBS & GRASSES SHALL BE FIELD LOCATED.

MULCHING NOTES:

1. ALL TREES SHALL BE MULCHED WITH HARDWOOD MULCH PER PLANTING DETAIL ON THIS SHEET.

SEEDING NOTES:

1. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION AND SCHEDULED TO RECEIVE NO OTHER SURFACE TREATMENT.

SHEET NOTES:

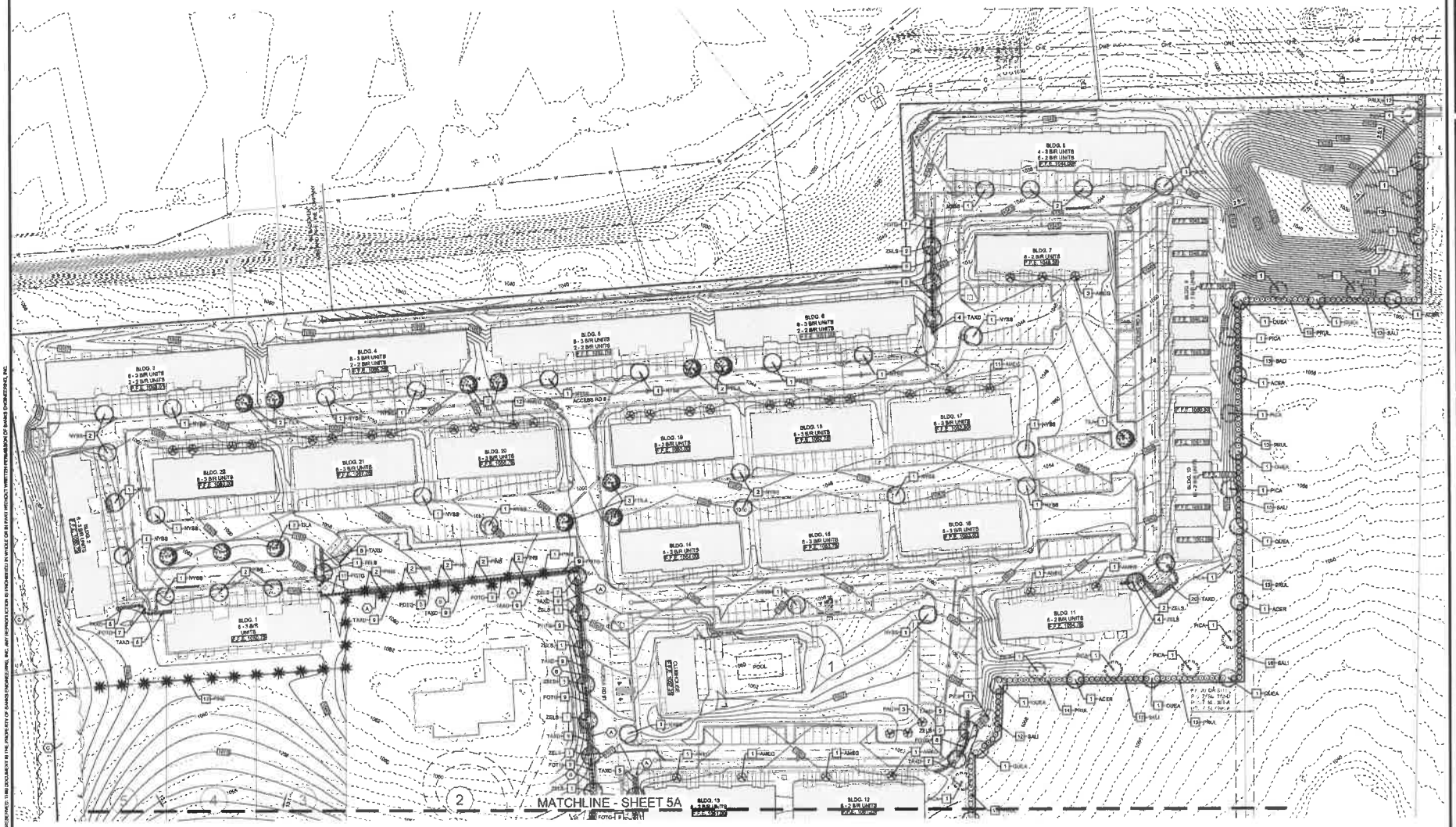
A. HARDWOOD MULCH, TYPICAL ALL PLANTINGS
B. STEEL LANDSCAPE EDGING
C. EXISTING TREES TO BE PRESERVED

PLANTING LEGEND:

SHADE TREE
FLOWERING TREE
EVERGREEN TREE
SHRUBS

GRAPHIC SCALE

1 inch = 50 feet



STATE OF KENTUCKY
AUSTIN D. SWINEY
35900
LICENSED PROFESSIONAL ENGINEER
9/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1901 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7; SLIDE 195-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

LANDSCAPE PLAN

BANKS
1211 JESSAMINE STATION | NICHOLASVILLE, KY | 859.881.5020 | BANKSENGINEERING.NET

SHEET	DATE	REVISED
11B	09/23/2024	1
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JOB# 23153
DRAWN ADS/KJH
CHECKED JDB

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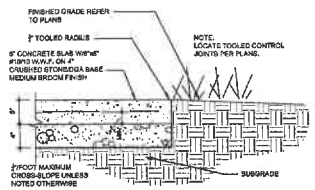

6" CONCRETE WALK
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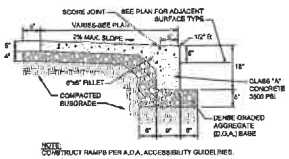

INTEGRAL CURB & WALK DETAIL
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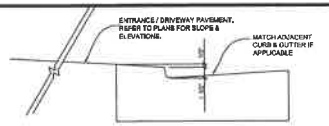

CURB CUT ENTRANCE DETAIL
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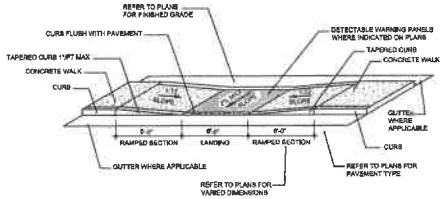

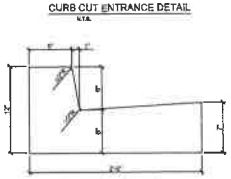

TYPE 1 CURB & GUTTER
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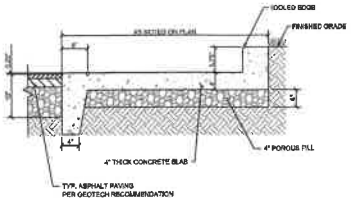

SECTION OF LEVEL LANDING
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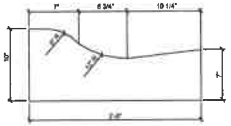
TYPICAL PARKING SPACE
N.T.S.

VAN ACCESSIBLE HANDICAP PARKING SPACE
N.T.S.



TYPE 4 ROLL CURB
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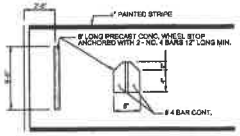

WHEEL STOP
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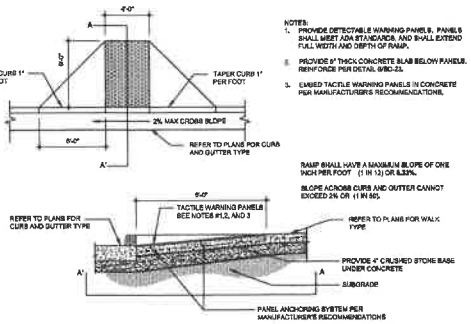
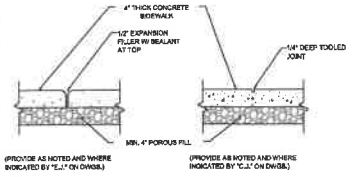


NOTES:
1. PROVIDE DETECTABLE WARNING PANELS. PANELS SHALL MEET ADA STANDARDS, AND SHALL EXTEND FULL WIDTH AND DEPTH OF RAMP.
2. PROVIDE 6" THICK CONCRETE SLAB BELOW PANELS. REINFORCE PER DETAIL 6/BC-23.
3. EMBED TACTILE WARNING PANELS IN CONCRETE PER MANUFACTURER'S RECOMMENDATIONS.

RAMP SHALL HAVE A MAXIMUM SLOPE OF ONE INCH PER FOOT (1 IN 12) OR 8.33%.

SLOPE ACROSS CURB AND GUTTER CANNOT EXCEED 2% OR (1 IN 50).

ACCESSIBLE CURB RAMPS
N.T.S.



TYP. EXTERIOR SLAB JOINT DETAILS
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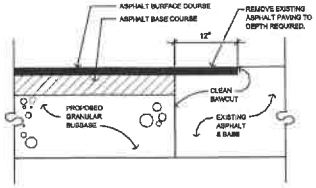

EDGE KEY DETAIL
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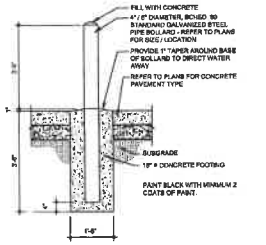

BOLLARD
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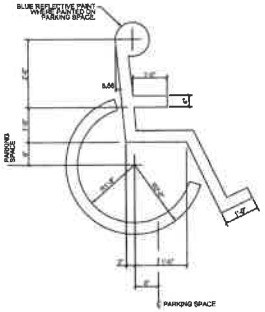
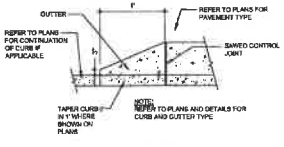


ACCESSIBLE SYMBOL
N.T.S.

ACCESSIBLE SIGN
N.T.S.



GUTTER TERMINATION
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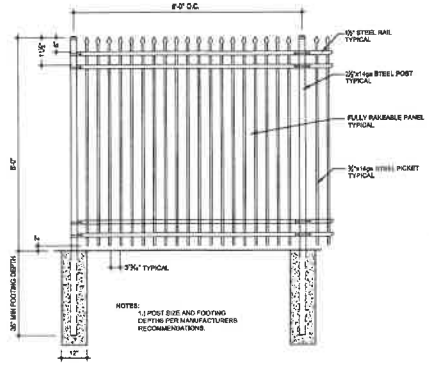
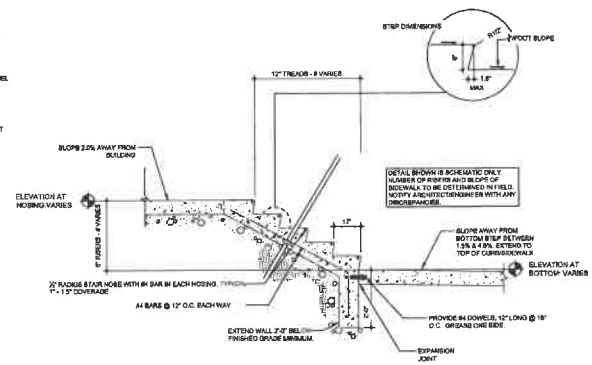


ORNAMENTAL FENCE
N.T.S.



CONCRETE STEPS
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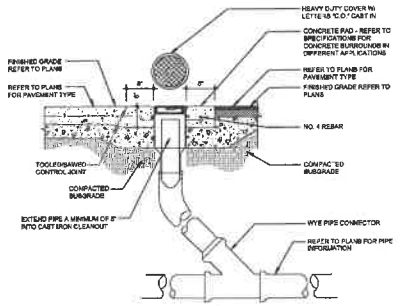

CLEANOUT
N.T.S.

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Drawing: 23153_12_Site Details.dwg

STATE OF KENTUCKY
AUSTIN O. SWINEY
26900
LICENSED PROFESSIONAL ENGINEER
08/23/2024

OWNER
ASHGROVE FARMS, LLC
1701 COMMONWEALTH DRIVE, JEFFERSONTOWN, KY 40299

DEVELOPER
MARIAN DEVELOPMENT
1501 PAYNE STREET, LOUISVILLE, KY 40206

TRACT I-A
GEORGE N. & PATTY T. GILPIN PROPERTY
PLAT CABINET 7, SLIDE 195-A
1050 ASHGROVE ROAD, NICHOLASVILLE, KY 40356

SITE DETAILS

BANKS
1211 BESSAMER STATION | NICHOLASVILLE, KY | 859.881.0000 | BANKSENGINEERING.NET

SHEET	DATE	REVISED	
12	08/23/2024	1	
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		3	
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		5	

JOB# 23153
DRAWN: ADS/KJH
CHECKED: JDB