

# Proposal Request

**PR#:** 009

**Project:** Black & Williams Community Center - Gymnasium Improvements

**Date:** July 23, 2024

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**This proposal shall *ONLY* be for the change in project scope; the demolition of the existing precast concrete wall panels, construction of a new CMU composite wall, and installation of metal wall panel rainscreen system.**

**The due date for this PR#9 shall be 8/6/24.**

Each proposal shall have a full material and labor breakdown including OH&P of 15% maximum.

***This proposal request does not indicate a notice-to-proceed for the work outlined below.***

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project scope.

## **PR #9: EXTERIOR WALL REMEDIATION**

The following proposal request is being issued to formalize additional costs associated with a remediating the existing exterior wall conditions at the "low walls" that constitute the entry to the building (Entry Vestibule [100], Storage [101], Mechanical [102]. This was a found condition that was discovered during selective demolition related to the installation of the new windows.

The scope of the work is as follows and outlined in the attached A4.2 drawing.

### **DEMOLITION**

1. EXISTING PRECAST CONCRETE WALL PANELS TO BE SELECTIVELY DEMOLISHED.
2. CONTRACTOR SHALL CONSIDER THE WALL TO BE UNSTABLE DURING DEMOLITION AND USE EXTREME CAUTION AND LIGHT METHODS SO AS NOT TO DISTURB THE INNER CLAY TILE WYTHE OR COLLAPSE THE WALL.
3. PRIOR TO DEMOLITION OF THE OUTER PRECAST WALL, SHORE THE EXISTING STEEL ROOF JOISTS DOWN TO SLAB ON GRADE.

July 23, 2024

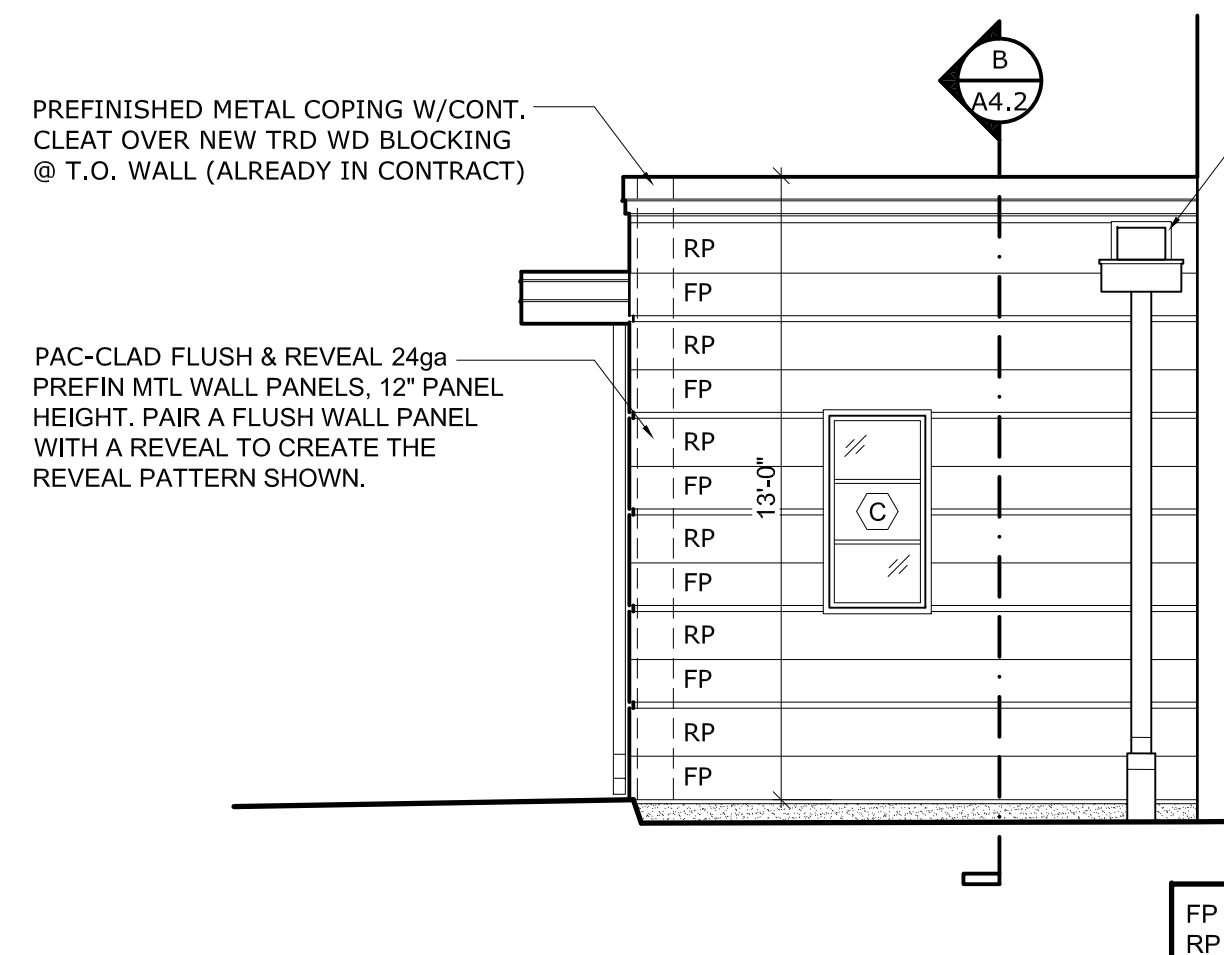
4. THE GENERAL TRADES CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENGINEERING, SUPPLYING, AND INSTALLING THE TEMPORARY SHORING AND BRACING NECESSARY TO RESIST THE GRAVITY LOADS AS THE EXTERIOR PRECAST CONCRETE WALL PANELS ARE SELECTIVELY DEMOLISHED AND RECONSTRUCTED WITH NEW STRUCTURAL ELEMENTS.
5. THE DESIGN OF THE SHORING SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF KENTUCKY IN CONSIDERATION OF APPLIED, POTENTIAL, AND CONSTRUCTION LOADING; MEANS AND METHODS, TECHNIQUES AND SEQUENCES.
6. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT (FOR THEIR RECORDS) TEMPORARY SHORING DRAWINGS (PLANS & DETAILS) THAT ARE SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
7. SUBMITTALS RELATED TO SHORING SHALL BE RECEIVED FOR RECORD AND ARE NOT CONSIDERED AN ACTION SUBMITTAL.
8. SHORING SHALL BE DESIGNED TO SUPPORT A WORKING LOAD OF 7,500lbs/JOIST.
9. SHORING SHALL ALIGN WITH A TOP CHORD PANEL POINT AND HAVE (2) 2x4 VERTICAL CRUSH BLOCK DRIVEN TIGHT BETWEEN THE TOP & BOTTOM CHORDS ALIGNING WITH THE SHORING SUPPORT

### **NEW CONSTRUCTION**

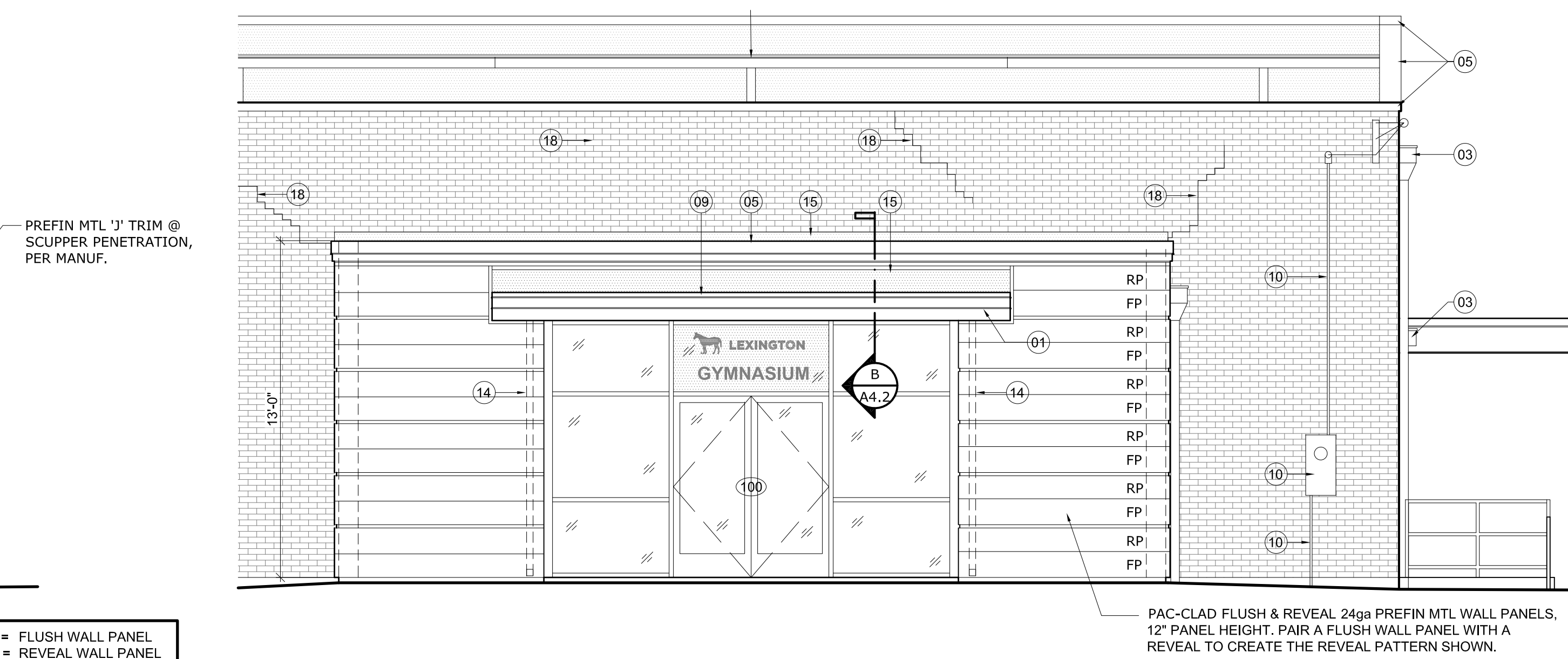
1. PROVIDE NOMINAL 1 1/2" SPACE BETWEEN EXISTING CLAY TILE WYTHE AND NEW 4" CMU WYTHE. SPACE BETWEEN CMU WYTHES TO RECEIVE GROUT TO CREATE A COMPOSITE WALL.
2. REINFORCE 1 1/2" SPACE WITH #4 VERTICAL REINFORCEMENT SPACED AT 32" O.C.; LAP SPLICE 25" MINIMUM. DRILL AND ADHESIVE REINFORCEMENT MINIMUM 6" INTO EXISTING FOUNDATION AND ADHESIVE FASTEN WITH ACRYLIC ADHESIVE (HILTI HIT HY 200 V3 SYSTEM, DEWALT POWERS AC 200+ SYSTEM, OR SIMPSON STRONG-TIE AT-XP SYSTEM). CLEAN ALL HOLES PER MANUFACTURER INSTRUCTIONS TO REMOVE LOOSE MATERIAL AND DRILLING DUST PRIOR TO INSTALLATION OF ADHESIVE. INJECT ADHESIVE INTO HOLES PROCEEDING FROM THE BOTTOM OF THE HOLE AND PROGRESSING TOWARD THE SURFACE IN SUCH A MANNER AS TO AVOID INTRODUCTION OF AIR POCKETS IN THE ADHESIVE. FOLLOW MANUFACTURER RECOMMENDATIONS TO ENSURE PROPER MIXING OF ADHESIVE COMPONENTS AND INSTALLATION.
3. CONNECT NEW WYTHE TO EXISTING CLAY TILE MASONRY WYTHE WITH HEAVY DUTY ADJUSTABLE GALVANIZED STEEL VENEER ANCHOR PLATE AND 2X-HOOK (HOHMANN & BARNARD HB-5213-2X OR EQUAL FOR 200lbf WORKING LOAD IN TENSION OR COMPRESSION) SPACED AT 16" ON CENTER BOTH VERTICALLY AND HORIZONTALLY.
4. FASTEN ANCHOR PLATES TO EXISTING CLAY TILE WYTHE WITH 3/8" DIAMETER HEAVY-DUTY, ZINC COATED STEEL, EXPANDABLE HOLLOW WALL ANCHORS.
5. PROVIDE CONTINUOUS 9 GAUGE GALVANIZED STEEL WIRE IN BEDJOINT ALONG EACH ROW OF WALL TIES.
6. NEW 4" EXTERIOR CMU WYTHE TO BE LAID WITH TYPE 'N' MORTAR IN RUNNING BOND. BOTTOM COURSE OF CMU ALONG FOUNDATION STEMWALL TO BE SOLID CMU.
7. GROUT SPACE BETWEEN NEW AND EXISTING WYTH WITH FINE GROUT MEETING ASTM C476. MAXIMUM GROUT POUR HEIGHT IS 12". CONSOLIDATE GROUT BY MECHANICAL VIBRATION OR PUDDLING.
8. PROVIDE 3/8" WIDE VERTICAL CONTROL JOINT IN CMU AT 12 FEET ON CENTER MAXIMUM.
9. ALLOW GROUT AND MORTAR TO CURE 7 DAYS MINIMUM BEFORE REMOVAL OF SHORING.
10. METAL WALL PANELS BASIS OF DESIGN: PAC-CLAD FLUSH & REVEAL WALL PANELS; STANDARD COLOR SELECTION

July 23, 2024





**C BUILDING ELEVATION (OPP. SIM.)**  
A4.2 SCALE: 1/4" = 1'-0"

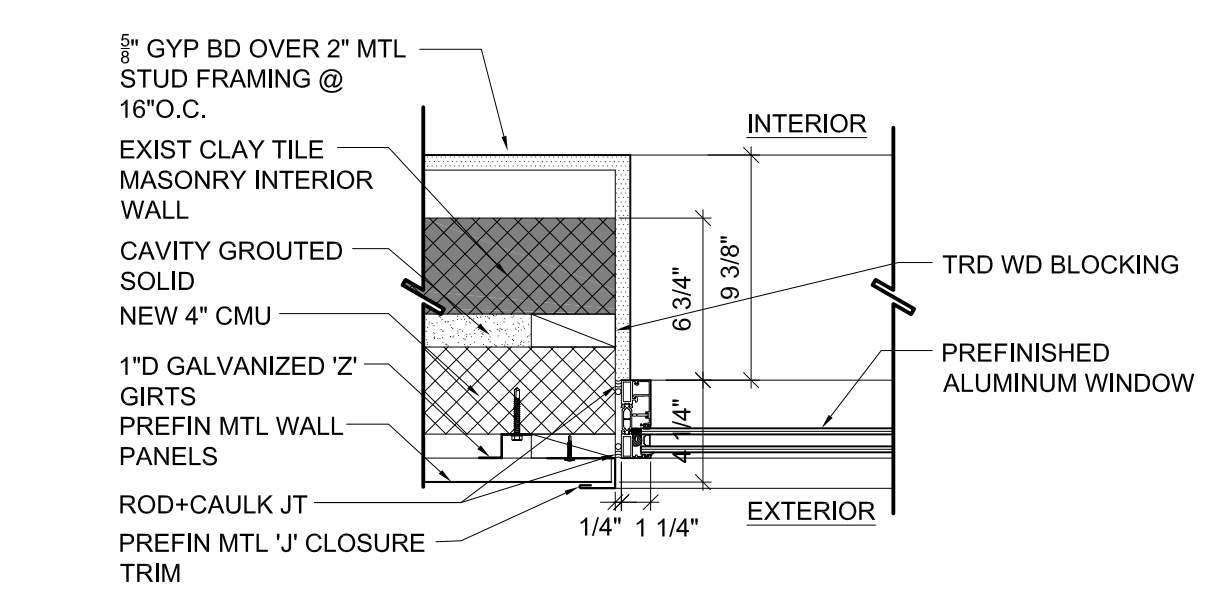


**B BUILDING ELEVATION**  
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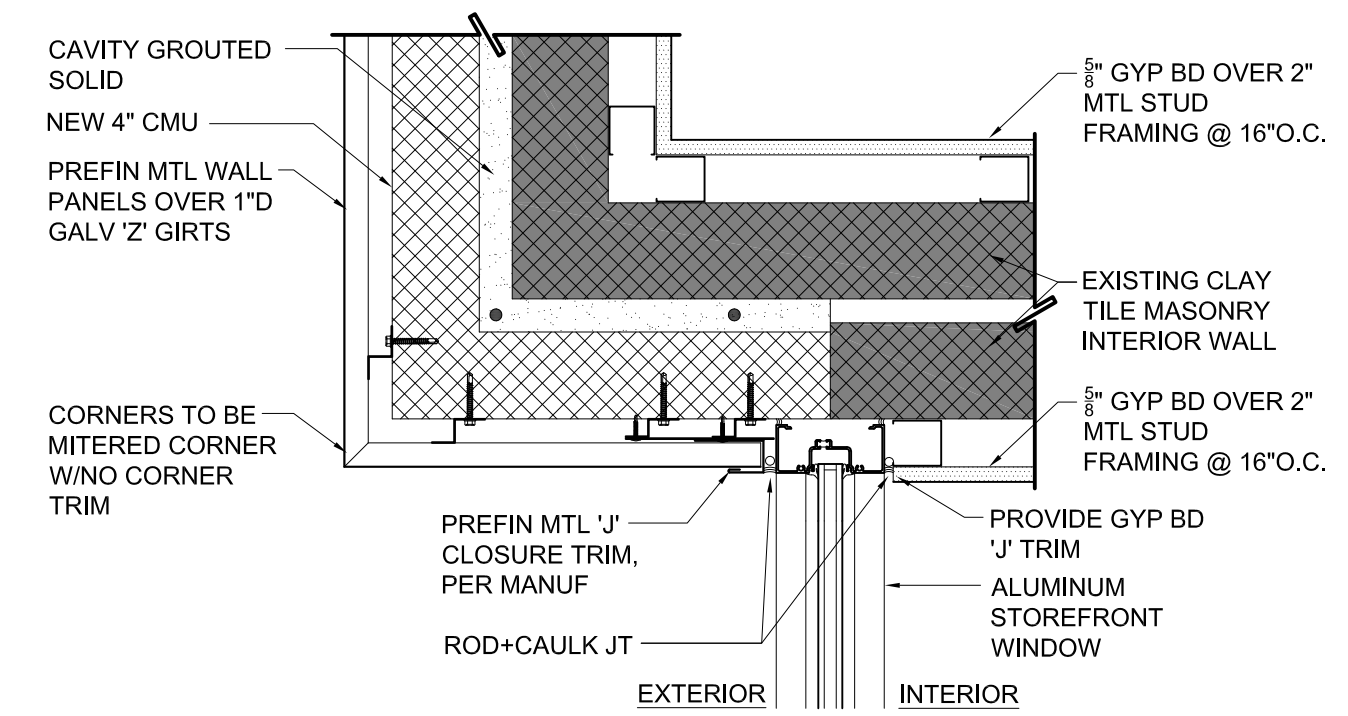
**GENERAL NOTES:**

- DEMOLITION**
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  - PRIOR TO DEMOLITION OF THE OUTER PRECAST WALL, SHORE THE EXISTING STEEL ROOF JOISTS DOWN TO SLAB ON GRADE.
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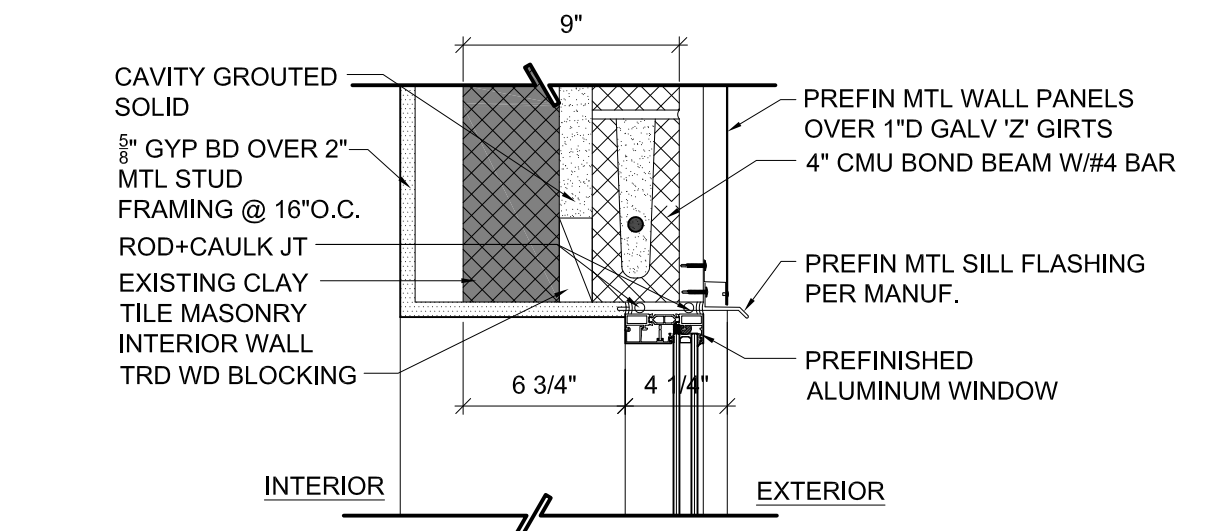
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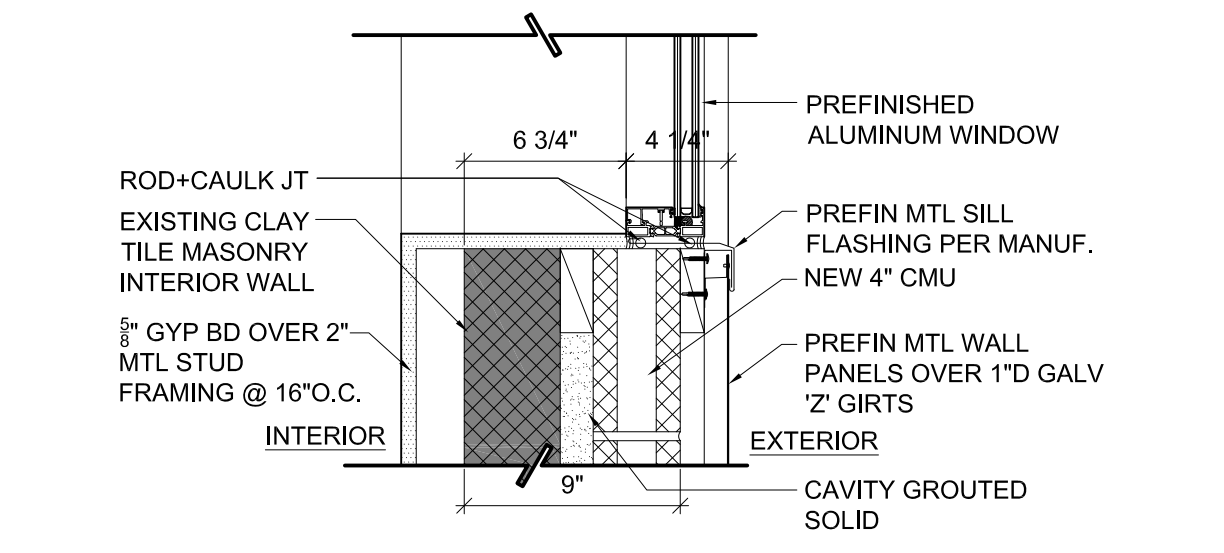
**F WINDOW JAMB DTL**  
A4.2 SCALE: 1 1/2" = 1'-0"



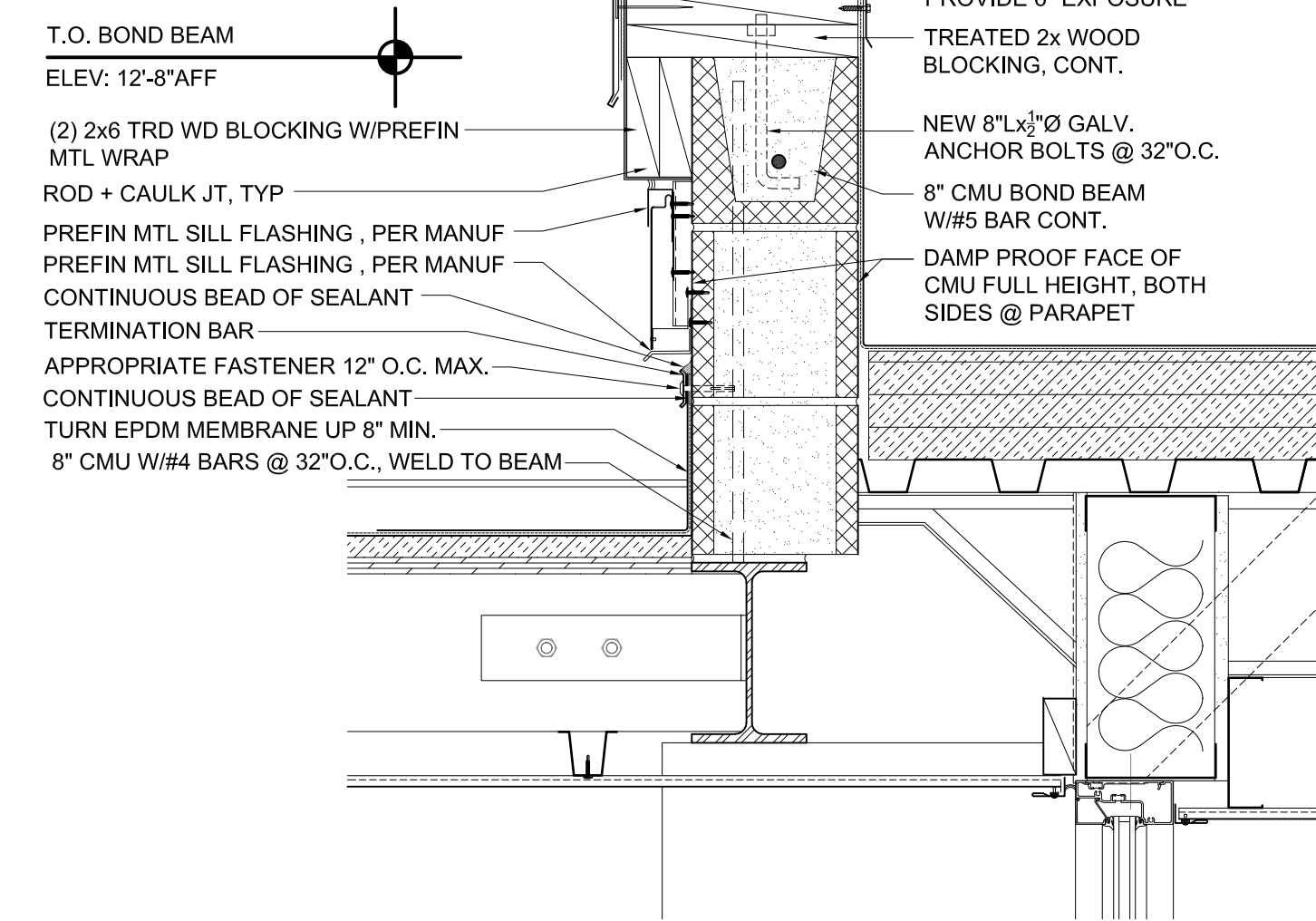
**J JAMB DTL / OUTSIDE CORNER DTL**  
A4.2 SCALE: 1 1/2" = 1'-0"



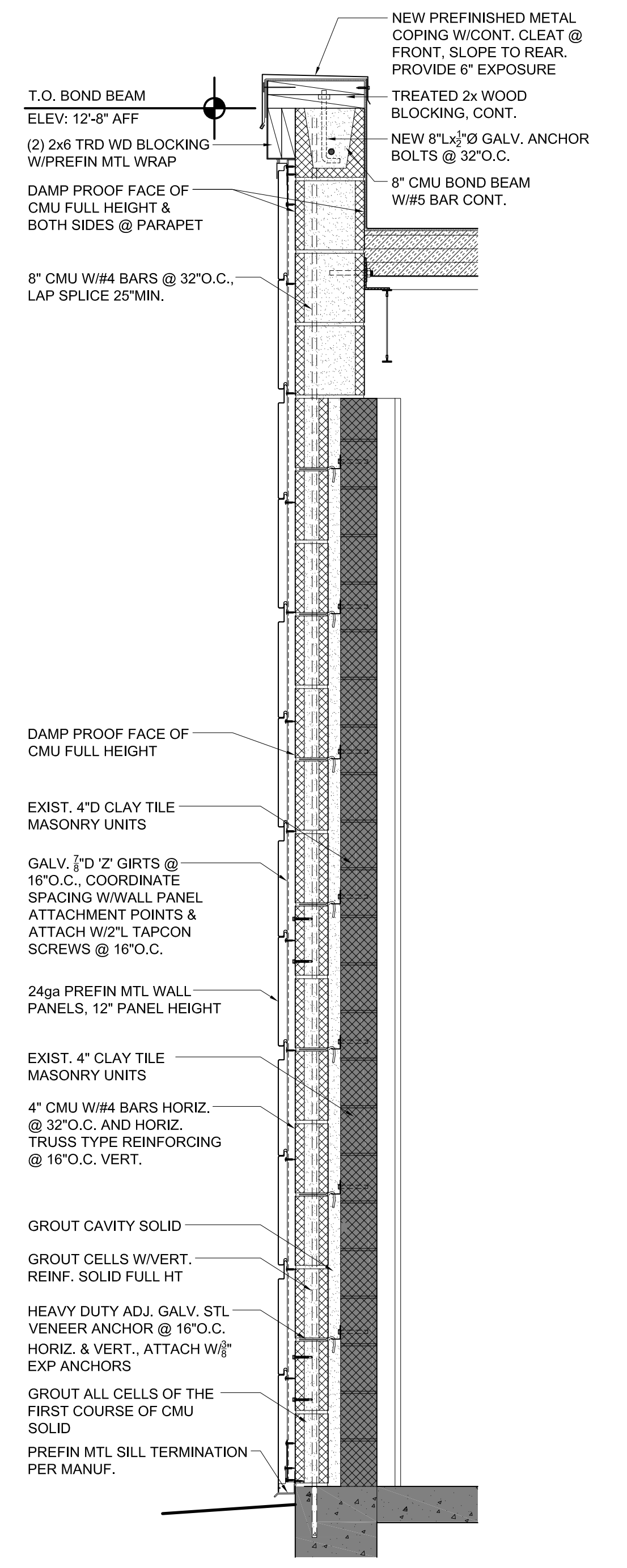
**G WINDOW HEAD DTL**  
A4.2 SCALE: 1 1/2" = 1'-0"



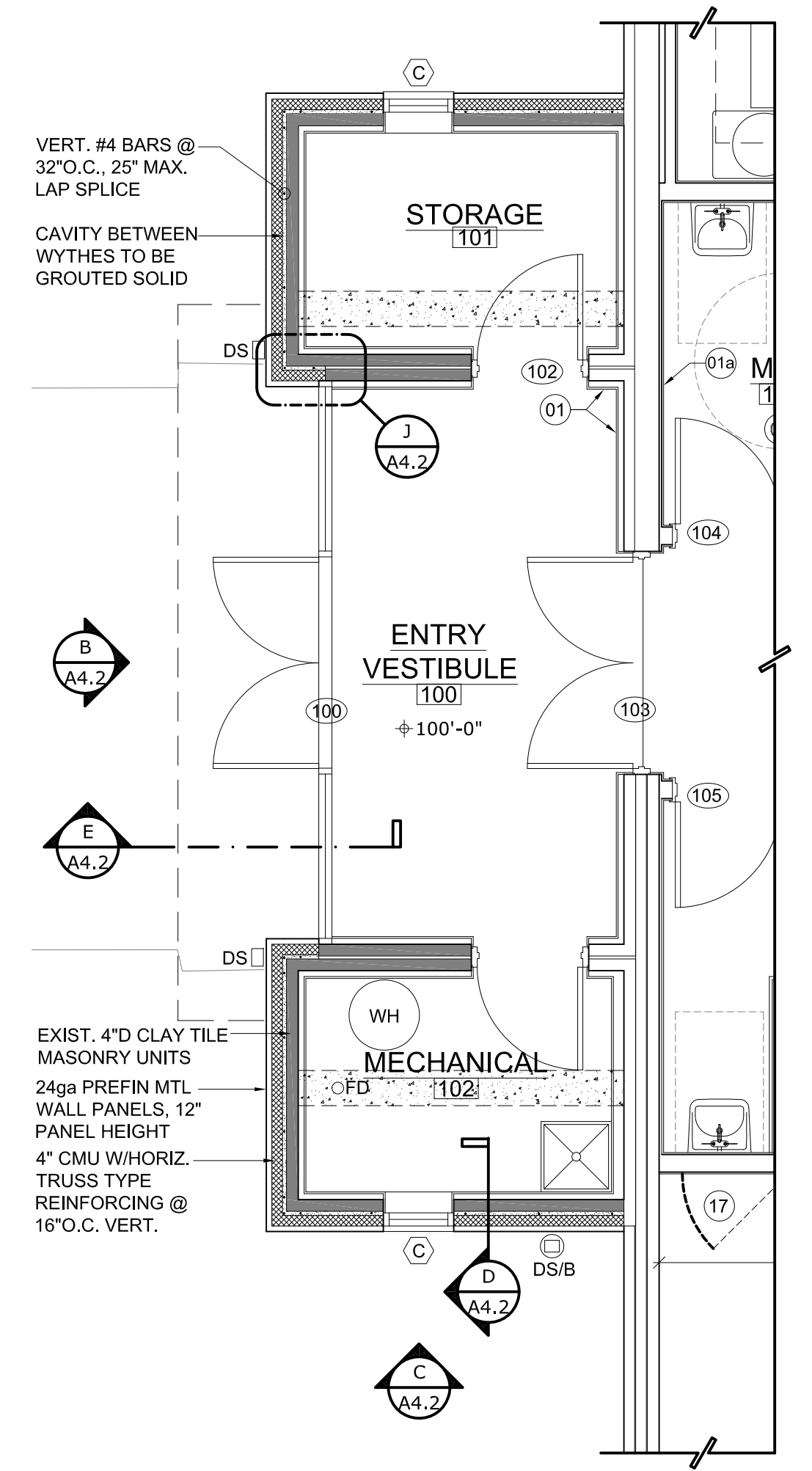
**H WINDOW SILL DTL**  
A4.2 SCALE: 1 1/2" = 1'-0"



**E WALL SECTION**  
A4.2 SCALE: 1 1/2" = 1'-0"

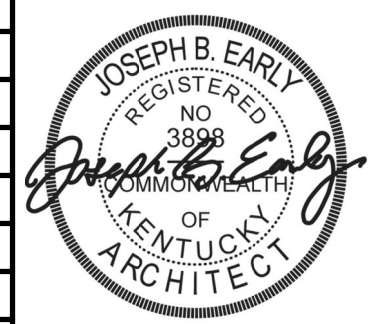


**D WALL SECTION**  
A4.2 SCALE: 1" = 1'-0"



**A KEY PLAN**  
A4.2 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION



BLACK & WILLIAMS NEIGHBORHOOD CENTER  
**GYMNASIUM BUILDING IMPROVEMENTS**  
498 GEORGETOWN ST., - LEXINGTON, KENTUCKY

**johnson • early • architects**  
131 prosperous place, suite 19b • lexington, kentucky 40509  
phone: 859-259-1515 • fax: 859-231-5060 • e-mail: earlyjb@earthlink.net

**BUILDING SECTIONS**

DATE: JULY 23, 2024  
DRAWN BY: DJT  
CHECKED BY: JEB  
REVISIONS:     

SHEET NO. **A4.2**





GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

# PR-9 PRICING

2025 Leestown Road, Suite B  
Lexington, KY 40511

Phone (859) 254-0011

[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

DATE **August 27, 2024**

LFUC-Black and Williams Neighborhood Ctr

CUSTOMER LFUC-Black and Williams Neighborhood Ctr  
498 Georgetown St Lexington KY 40509  
Att: Daniel Thornberry

DESCRIPTION	TOTAL
<b>Pricing to Replace Existing Veneer per PR-9</b>	
Shoring : Sunbelt cost to Design, Install, and Remove temporary shoring while demo and new CMU work is ongoing Duration : 1 week to mobilize, 1 day each to install and remove <b>Note : Requires removal of some piping in Mechanical and drywall/framing on exterior walls to fit shoring beams under outside joists</b>	\$7,141.00
Blackspur to install Demo and Haul Off Existing Concrete, Install 4" CMU, 8" CMU, Anchor Bolts, Rebar, Veneer Anchors, Grouting, and Damproofing 1 week to mobilize, 1 week for demo, 10 days for new CMU work	\$29,885.00
Grayhawk to install EIFIS system over new CMU, including Fluid Applied Air Barrier and mechanically fastening foam to new CMU to attain warranty Duration for install : 2 weeks (pending acceptable weather) Lead Time : 2-3 weeks from reviewed and returned submittal <b>Note : delays awning, roofing, soffit, and associated interior and exterior scopes until EIFIS complete or at appropriate sequence alongside PR-9</b>	\$37,500.00
Burns Piping : Demo section of previously installed plumbing pipes in Mechanical, reinstall after shoring removed	\$1,490.00
Grayhawk labor cost to remove drywall and framing to 10" below joist for shoring beams to fit under far outside joists in Mechanical and Storage 10. Does not include patching as this removal is above ceiling height	\$226.00
<b>OMNI and it's subcontractors are not responsible for unforeseen loose mortar, brick, or CMU inside the walls. Revised on 8/27/24 to reflect agreement with LFUCG on new SC date of 11/10/24.</b>	
Change Order Amount	\$76,242.00
GC Mark-Up	\$ 11,436.30
Bond Fee	\$ 2,287.26
<b>TOTAL AMOUNT OF THIS CHANGE ORDER</b>	<b>\$ 89,965.56</b>
Original Contract Amount	\$ 1,319,588.00
Contract Amount with Previous Change Orders	\$ 1,478,434.11
Total Contract Amount with Change Orders	<b>\$ 1,568,399.67</b>

**Jacob Goble**

**8/27/2024**

Authorized by: Daniel Thornberry

Date

Authorized by: Jacob Goble, Project Manager

Date



# SYSTEM SCAFFOLD QUOTE

Sunbelt Rentals Scaffold Services  
550A SPARROW DR  
SHEPHERDSVILLE, KY 40165 5473  
(502) 921-2391  
[www.sunbeltrentals.com](http://www.sunbeltrentals.com)

## August 21, 2024

Customer **OMNI COMMERCIAL LLC**  
**(687458)**  
*Jacob Goble*  
859-894-2334  
*kgoble@omnicommercialky.com*

Quote **Black and Williams Entrance Shoring**  
QUO-66783-M2M9J0

Job Site **Black and Williams**  
L0129HW243028831  
498 GEORGETOWN ST  
LEXINGTON, KY 40508 1163

### Introduction

#### Omni Commercial

Sunbelt Rentals Scaffold Services ("Sunbelt") is thankful for the opportunity to do business with Omni Commercial ("Customer"). We are happy to support you with a wide variety of installation services for your access needs such as: Frame & Brace Scaffold, System Scaffold, Shoring of Existing Structures, Re-Shoring, Trash Chutes, Scaffold Mounted Hoisting Options, Swing Stage, Man/Material Hoists, Mast Climbers, Interior/Exterior Vessel Access, Stair Towers and Overhead Protection Systems. In addition, we offer various training sets, for your lead men and crews that will apply to each of the products we provide.

Sunbelt is one of the largest equipment rental companies in the United States more than 900 locations. Sunbelt's solution providers are here to assist you in whatever equipment needs you may have.

Thank you for considering Sunbelt Rentals Scaffold Services,

Holden Willett  
502-492-7376

## Specifications

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### Systems Scaffold

-This is a quote to provide the erect and dismantle of a shoring system that will help support the roof loads being imposed on the exterior load bearing wall/beam along the entrance to the Black and Williams Building in Lexington, KY.

-The main portion of each shoring structure will be approximately 4' wide x 3' long x 10' tall and will be designed to support the existing bar joist and structural I-beam.

-Each system will be constructed with W8x10 beams that will rest on top of shoring U-heads.

-This system will be erected from the ground and will not be anchored to the structure (please see the "Customer Responsibility" section of the quotation).

-This quotation is bid utilizing our standard straight time rates for work during the normal work week and contains no overtime.

## Customer Responsibility

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### **Omni Commercial**

It is the customer's responsibility to return an executed copy of this quote along with a PO prior to the commencement of any labor associated with this job.

Customer must have a representative on-site to sign off with the acceptance of the equipment and upon the completion of the build that it is to their satisfaction.

Customer shall be responsible for daily inspections after initial Sunbelt inspection.

Customer shall promptly report theft, lost or damage involving the rental equipment.

Customer agrees to the following:

- Customer shall have all work permits in place prior to Sunbelt's arrival.
- Customer to provide a minimum of two-week's notice for scheduling of any labor phase.
- Customer shall maintain awareness of scaffold load capacities provided by Sunbelt.
- Customer shall provide all necessary floor protection (as applicable).
- Customer shall provide a barricade around the work area prior to Sunbelt's arrival on-site.
- Customer shall remove any obstructions from the scaffold work area.
- Customer shall provide a dedicated lay-down area for scaffold equipment prior to Sunbelt's arrival.
- Customer shall provide a clear and direct passageway from lay-down area to scaffold site.
- Customer is responsible for patching and/or painting all penetration repairs where the scaffold was secured to the building (as applicable).
- Customer understands that Sunbelt will assume no responsibility for any damage caused to the grass or landscaping (as applicable).
- Customer understands that Sunbelt will assume no responsibility for any damage caused to the asphalt, or concrete where material handling equipment is used to maneuver materials (as applicable).
- Customer is to verify with the Engineer of Record that the existing structure can be safely supported as shown in the drawing provided after the approval of this quotation.
- Customer is to verify with the Engineer of Record that the existing base structure that the shoring is resting on is capable of supporting a max superimposed leg load that will be provided after the approval of this quotation.
- Customer understands that this design requires that the existing trusses be supported at the bottom. Any required bracing, blocking, or other reinforcement is to be determined, designed, and installed by others prior to demolition.
- Customer understands that this shoring system is designed to support vertical gravity loads only and that all other loads must be supported by other means, by others.
- Customer agrees that any and all delays beyond Sunbelt's control is subject to time and material costs in addition to this quotation.



### **\*Transportation Surcharge**

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*The quote total below is inclusive of an approximate Transportation Surcharge which will be calculated utilizing combination of the variable and fixed components. Sunbelt offers transportation services to our customers through knowledgeable professionals via a fleet of trucks and trailers that provide timely delivery of the wide variety of rental equipment that Sunbelt offers. This transportation surcharge is added to each transportation charge, for the transportation services requested by the customer. The transportation surcharge is our charge intended to defray a wide range of transportation expenses (both direct and indirect), which are not always fully recovered by other transportation charges.*

### **Pricing Details**

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Equipment Rental: (4 week min.)	\$600.00*
Daily Rental: (after initial 4 weeks)	\$21.43*
Erection, Dismantle, and Freight Price:	\$6,136.00*

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**Quote Total:**

**\*\$6,736.00**

\*Plus applicable taxes

## Terms & Conditions

### Terms and Conditions

**PROJECT CONTRACT SPECIFICATIONS** (a) Customer must be present at time of delivery to sign, inspect, count, and accept responsibility of equipment via Sunbelt Erection Inspection Checklist; (b) If Customer dismantles equipment, any equipment missing is Customer's responsibility and will be charged at replacement cost; (c) Should PE Stamped Drawings be required, additional charges apply. All such engineering work is limited to the Scaffold Design and Leg Loads and does not include analysis of job site structures; (d) Price herein assumes Sunbelt shall be exempted from participating in OCIP/CCIP requirements. If not exempted, additional charges apply; (e) Our quoted price is based on the written terms of this Quote. If we are requested to sign an agreement you prepare, this Quote in its entirety or, must be incorporated into that agreement. If there is a conflict between your agreement and the written and included terms of our Quote, the terms of our Quote shall govern; (f) Both parties shall accept this Quote within 30 days of Date of Quote (above) or it may, at our option, be considered null and void; (g) It is a condition precedent to work being scheduled that this Quote is signed and received by the Scaffold Services Branch listed below; (h) Allow two (2) week lead times for scheduling all labor phases. (i) All work will be performed during straight time hours on day shift, Monday through Friday 7:00 am to 3:30 pm, unless specifically noted otherwise; (j) All work beyond the scope of work outlined above will be reimbursed based on Sunbelt Rentals, Inc. current Man-Hour Rates. These rates shall be made available upon request. The Customer will be responsible for verifying all time sheets. Delays (over 30 minutes), remobilizations, and unacceptable work conditions not attributable to Sunbelt, will be charged at the current Man-Hour Rates and may include a 4-hour minimum and/or additional travel time charges; (k) Scaffolds to be erected to meet or exceed OSHA 1926.451 Subpart L (or as indicated herein).

**SCAFFOLD PRICE EXCLUSIONS.** The pricing of this Quote does not include the following, unless specifically described on the front of this Quote: (a) expenses incurred if the Customer's or the Job Site Physical Address safety requirements exceed State and Federal codes; (b) toeboards, screens and nets; (c) costs associated with providing a firm, compacted and level grade for all scaffolding; (d) any foundations or re-shoring required below sidewalk level or sub-basement level; (e) tarpaulins or other sheeting (scaffolding must be modified to withstand the additional wind loads, with such sheeting); (f) any costs for proof of drug testing or employment drug screening whether it be pre-employment, site required, or otherwise; (g) moving rolling towers; (h) lodging, meals, travel, transportation, or other extraordinary expenses; (i) performance bond, and/or OCIP/CCIP requirements, if required; (j) sales taxes, use taxes, or tariffs; (k) sealed shop drawings or PE Stamped Drawings, if required; and (l) any other costs incurred due to the Job Site Physical Address conditions, delays, or safety considerations not attributed to Sunbelt will be invoiced to Customer on a time and material basis.

**CUSTOMER RESPONSIBILITIES.** Unless otherwise noted herein, Customer shall be responsible for the following, all at Customer's sole expense: (a) compliance with all laws and regulations related to the proper possession and use of scaffolding; (b) provide qualified, experienced, and adequate supervision of any and all users of the scaffolding including a competent person; (c) provide all training of all users as required by 29CFR1910, 29CFR1926, and other applicable local, state, and federal governing bodies, and all accepted industry standards; (d) all scaffold users have read and understand the Codes of Safe Practices; (e) provide a firm, compacted and level grade for all scaffolding; (f) provide suitable crane and forklift support, or other material handling, as needed for the Work; (g) verify that the existing structure will safely support the additional vertical and horizontal loading from the scaffold; (h) repair all holes in existing structure left as a result of concrete anchors or other ties necessary to stabilize scaffold structure; (i) arrange with the Utilities Authority for all necessary safeguards, notifications and process lock-outs prior to erection date; (j) provide electric power and lighting to suit Sunbelt requirements; (k) supply any necessary flagmen or temporary barriers or signs, etc.; (l) if Sunbelt will be working in the vicinity of water, necessary boatmen and boat as defined in OSHA regulations; (m) any ground protection, i.e. for furniture, machines, carpets, landscaping, etc.; (n) toilets and wash facilities; (o) a firm, compacted and level grade laydown yard during both erection and dismantling; (p) security of Sunbelt equipment and materials within laydown yard; (q) restoration of the laydown yard following completion of the Work; (r) all permits; (s) Falling Object Protection and any citations and/or fines OSHA may impose for failure to do so; (t) Customer's fall protection systems and methods during the use of the scaffolding that comply with all laws and be at Customer's risk; (u) assume all risks associated with the possession, custody and operation of and full responsibility for, the equipment, including but not limited to, personal injury, death, rental charges, losses, damages and destruction, including customer transport, loading and unloading; and (v) maintain general and auto liability insurance of not less than \$2,000,000 per occurrence, including coverage for Customer's contractual liabilities herein (such as the indemnification clause); property insurance against loss by all risks to the Equipment, in an amount at least equal to the fair market value thereof; and worker's compensation insurance. Such policies shall be primary (and not on an excess basis), on an occurrence basis, name Sunbelt as an additional insured and loss payee. Customer shall provide Sunbelt with certificates of insurance evidencing the coverage required above prior to any rental and any time upon Sunbelt's request.

**SCAFFOLD CONDITIONS AND ASSUMPTIONS.** Unless otherwise specified herein to the contrary: (a) the scaffolding will be erected and dismantled one time only; (b) any alterations not described herein will be charged at the applicable time and material rates; (c) any overtime work shall be invoiced at the applicable time and material rates; and (e) the work performed by Sunbelt will be done in accordance with applicable state and federal codes.

**INDEMNIFICATION.** Sunbelt indemnifies, releases, defends, and holds Customer harmless from and against any third-party claims including any and all liabilities, losses, damages, claims, penalties, fines and expenses, including attorney's fees, for any damages to property and/or persons including death ("Claims") to the proportionate extent caused by Sunbelt or any of its contractors, suppliers, officers, agents, or employees negligent acts or omissions in the performance of this Agreement. Customer will (i) give Sunbelt prompt notice of any such Claim, and (ii) at Sunbelt's reasonable request, cooperate with Sunbelt in the defense and settlement of the Claim. Customer indemnifies, releases, defends and holds Sunbelt harmless from and against any third-party claims including any and all Claims to the proportionate extent caused by Customer's or any of its contractors, suppliers, officers, agents, or employees negligent acts or omissions in the performance of this Agreement. Sunbelt will (i) give Customer prompt notice of any such Claim, and (ii) at Customer's reasonable request, cooperate with Customer in the defense and settlement of the Claim.

Notwithstanding anything contained in any agreement between the parties to the contrary, Sunbelt's requirement to provide additional insured, primary, noncontributory and waiver of subrogation status shall be limited to the extent of Sunbelt's indemnification obligations herein.

**SCAFFOLD CHANGE ORDERS.** If Customer requests a change in the Work, Sunbelt shall send Customer's "Point of Contact" a change order request in written form. Customer shall return a signed copy of the change order to Sunbelt; provided however, if no objection to the change order is received by Sunbelt, the change order shall be deemed approved by Customer.

**INSPECTION AND ACCEPTANCE.** On Customer's acceptance of the erected scaffold, Customer will be responsible for the maintenance, control, proper use and supervision of the scaffold until such time as the scaffold is fully dismantled and returned to Sunbelt for removal from the Job Site.

**OTHER TERMS.** The remaining provisions of this Quote are shown on the following page and incorporated herein by reference and can also be found at: <https://www.sunbeltrentals.com/solutions/scaffold-services/terms-and-conditions/>

## Quote Acceptance

**OMNI COMMERCIAL LLC**

*Jacob Goble*

Acceptance Signature of Customer's Authorized Representative

Date

**Sunbelt Rentals, Inc.**

*Holden Willett*

Acceptance Signature of Sunbelt Rentals Authorized Employee

Date

**From:** Wlliam Persley <928wpersley@gmail.com>  
**Sent:** Friday, August 2, 2024 11:31 AM  
**To:** Jacob Goble  
**Subject:** Re: Black and Williams : PR-9

Jacob,

Demo	\$8200.00		

**Dump**  
\$1200.00  
**Rebar Anchoring**  
\$1300.00  
**Material**  
\$6076.00  
**Block Labor**  
\$3500.00  
**Grout**  
\$1200.00  
**Damp proofing**  
\$1525.00  
**Forklift**  
\$2280.00  
**Mixer**  
\$697.00  
**Grout Pump**  
\$2082.00  
**Scaffolding**  
\$1475.00  
**Mcs anchors**  
\$350.00  
**Total**  
\$29,885.00

On Jul 24, 2024, at 9:47 AM, Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)> wrote:

All,  
See attached PR-9 for the demo and removal of the concrete panel veneer, replaced by a CMU wall and metal panel system. Inform me of any impacts by EOD 7/29/24.

Thanks,

<image001.png> **Jacob Goble**  
Site Supervisor / PM | OMNI Commercial

**M** 859.894.2334 | **P** 859.254.0011  
**E** [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)

<image005.jpg>

<image002.png>

<image003.png><image004.jpg>

<Black and Williams PR-9-Veneer.pdf>

**From:** [William Persley](#)  
**To:** [Jacob Goble](#)  
**Subject:** Re: Black and Williams : PR-9  
**Date:** Monday, August 5, 2024 2:47:45 PM

---

Jacob,

The demo I scheduled for five days. New work with prep, block, grouting rebar install figure 85 hours + or -..

Will

On Aug 2, 2024, at 11:34 AM, Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)> wrote:

Thanks William,

Does "dump" mean haul off and disposal?

Please send me your duration for demo and duration for the new work

<image001.png> **Jacob Goble**  
Site Supervisor / PM | OMNI Commercial  
  
M 859.894.2334 | P 859.254.0011  
E [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)  
  
2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)  
  
<image005.jpg>

<image002.png>

<image003.png> <image004.jpg>

---

**From:** William Persley <[928wpersley@gmail.com](mailto:928wpersley@gmail.com)>  
**Sent:** Friday, August 2, 2024 11:31 AM  
**To:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Subject:** Re: Black and Williams : PR-9

Jacob,

Demo	\$8200.00		
Dump	\$1200.00		
Rebar Anchoring	\$1300.00		
Material	\$6076.00		
Block Labor	\$3500.00		
Grout	\$1200.00		
Damp proofing	\$1525.00		
Forklift	\$2280.00		
Mixer	\$697.00		
Grout Pump	\$2082.00		
Scaffolding	\$1475.00		
Mcs anchors	\$350.00		
<b>Total</b>	<b>\$29,885.00</b>		

On Jul 24, 2024, at 9:47 AM, Jacob Goble  
<[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)> wrote:

All,

See attached PR-9 for the demo and removal of the concrete panel veneer,  
replaced by a CMU wall and metal panel system. Inform me of any impacts by  
EOD 7/29/24.

Thanks,

<image001.png> **Jacob Goble**  
Site Supervisor / PM | OMNI Commercial

**M** 859.894.2334 | **P** 859.254.0011  
**E** [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)

<[image005.jpg](#)>

<[image002.png](#)>

<[image003.png](#)> <image004.jpg>

<Black and Williams PR-9-Veneer.pdf>





## Request for Change

P.O. Box 12111 (40580)  
2424 Merchant Street  
Lexington, KY 40511

RFC Number: 5  
Date: 08/16/2024

**We hereby propose to make the following changes:**

RFC 5 - PR9 Veneer Replacement - EIFS in lieu of Metal Panels

**Inclusions:**

- EIFS to EIFS Caulking
- Gold Coat over new CMU Walls

**Exclusions:**

- Demo
- All Wood Blocking

**To:**  
OMNI GENERAL CONTRACTING  
PO BOX 34065  
LEXINGTON, KY 40588

**Project:**  
LFUCG BLACK & WILLIAMS  
LEXINGTON, KY 40508

<b>Requested By:</b> Colin Wilkerson	<b>Phone:</b> (859) 721-2320	<b>E-mail:</b> cwilkerson@grayhawk-ky.com
---	---------------------------------	--

<b>Recipients:</b> Jacob Goble	<b>Phone:</b> (859) 251-0111	<b>E-mail:</b> jgoble@omnicommercialky.com
-----------------------------------	---------------------------------	---

<b>Requested Change:</b>	<b>Change to Contract</b>
Labor (460 Hours @ \$54.50/Hr)	\$ 25,070.00
Material (Specified by Architect - Sto EIFS Products, Protective Plastic, FC Board, Finishing Material, & Fasteners)	\$ 12,430.00

<b>RFC Total</b>	<b>\$ 37,500.00</b>
------------------	---------------------

Pricing is based upon conditions or documents provided by the date issued above and is valid until 08/23/2024. Any changes to jobsite conditions, which may include but are not limited to weather, unforeseen conditions, progress of other trades, accelerated scheduling, or out-of-sequence work may result in additional costs. Unless stated otherwise the price above does not include overtime or costs for shift differential. Acceptance of this RFC by verbal direction, signed authorization, or issuance of a Change Order constitutes the acceptance of this document and all terms and conditions contained herein.

**Colin Wilkerson**  
\_\_\_\_\_  
Author

**Grayhawk, LLC**

\_\_\_\_\_  
Authorized Signature  
**OMNI GENERAL CONTRACTING**

\_\_\_\_\_  
Date

**From:** Andrew Parker <aparker@grayhawk-ky.com>  
**Sent:** Tuesday, August 20, 2024 9:29 AM  
**To:** Jacob Goble  
**Cc:** cwilkerson@grayhawk-ky.com  
**Subject:** Fw: Black and Williams PR-9

Jacob, Our duration will be approximately 2 weeks pending good weather. Lead time will be 2-3 weeks pending approved submittals and finish color.

[Andrew Parker](#)  
Operations Manager

Grayhawk, LLC  
2424 Merchant Street  
Lexington, KY 40511

(251) 620-6227 Cell  
(859) 721-2447 Office  
(859) 259-0957 Fax  
[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)  
[www.grayhawk-ky.com](http://www.grayhawk-ky.com)

---

**From:** Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>  
**Sent:** Tuesday, August 20, 2024 9:18 AM  
**To:** Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Subject:** FW: Black and Williams PR-9

See below.



[Colin Wilkerson](#)  
Project Engineer

Grayhawk, LLC  
2424 Merchant Street  
Lexington, KY 40511

(614) 602-9127 Cell  
(859) 255-2754 Office  
(859) 259-0957 Fax  
[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)

[www.grayhawk-ky.com](http://www.grayhawk-ky.com)

---

**From:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Sent:** Friday, August 16, 2024 4:16 PM  
**To:** Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>  
**Cc:** Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Subject:** RE: Black and Williams PR-9

Need lead times and durations as well



**Jacob Goble**

Site Supervisor / PM | OMNI Commercial

M 859.894.2334 | P 859.254.0011

E [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

---

**From:** Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>  
**Sent:** Friday, August 16, 2024 3:35 PM  
**To:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Cc:** Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Subject:** RE: Black and Williams PR-9

See attached PR9 quote.

Thanks,



Colin Wilkerson  
Project Engineer

Grayhawk, LLC  
2424 Merchant Street  
Lexington, KY 40511

(614) 602-9127 Cell  
(859) 255-2754 Office  
(859) 259-0957 Fax  
[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)  
[www.grayhawk-ky.com](http://www.grayhawk-ky.com)

---

**From:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Sent:** Friday, August 16, 2024 1:02 PM  
**To:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>; Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>; Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>  
**Subject:** RE: Black and Williams PR-9

Please prepare a Change Order proposal, specifying the prep methods required for you to attain warranty, using the requested methods/products forwarded from the architect.



**Jacob Goble**  
Site Supervisor / PM | OMNI Commercial

M 859.894.2334 | P 859.254.0011  
E [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)



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---

**From:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>  
**Sent:** Friday, August 16, 2024 12:56 PM  
**To:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>; Brandon Tyree

<[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>; Andrew Parker  
<[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>

**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>

**Subject:** RE: Black and Williams PR-9

**Importance:** High

Jacob.

Your price for revised PR-9 to utilize 2" Exterior Insulation and Finish System in lieu of PAC CLAD will be \$37,500.00. Note, we will need to apply STO Gold Coat fluid applied air barrier to new CMU wall and mechanically fasten foam to new CMU to not void any warranties. It must be an applicable substrate. Let me know if this is approved, we will make up an official changer order/proposal. Thanks.

Thank you,



**Andrew Lee, CEP**  
Senior Estimator

**Grayhawk, LLC**  
2424 Merchant Street  
Lexington, KY 40511

859-721-2446 **Direct**  
859-953-8736 **Mobile**  
859-255-2754 **Office**  
859-259-0957 **Fax**  
[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)  
[www.grayhawk-ky.com](http://www.grayhawk-ky.com)

---

**From:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>

**Sent:** Friday, August 16, 2024 8:57 AM

**To:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>; Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>; Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>

**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>

**Subject:** RE: Black and Williams PR-9

Andrew P or Colin,

Can you provide an update on the EIFS pricing as Andrew L is out of the office?





**Jacob Goble**

Site Supervisor / PM | OMNI Commercial

M 859.894.2334 | P 859.254.0011

E [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

**From:** Jacob Goble

**Sent:** Friday, August 16, 2024 9:49 AM

**To:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>; Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>;  
[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com); Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>

**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>

**Subject:** RE: Black and Williams PR-9

Andrew,  
Any update on this?



**Jacob Goble**

Site Supervisor / PM | OMNI Commercial

M 859.894.2334 | P 859.254.0011

E [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)





GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

**From:** Jacob Goble

**Sent:** Thursday, August 15, 2024 9:19 AM

**To:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>; Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; [cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com); Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>

**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>

**Subject:** RE: Black and Williams PR-9

Andrew, see below additional information received from the architect. Please let me know when you can get this to me, with durations and lead time

- Color to be “152: Anthracite Coal” – integral color, no painted finish.
- They are to match the existing reveal pattern and step-outs at the top of wall. 1” insulation base layer with an additional 1” layer to create the reveal patterns and steps at the top of wall.

Thanks,



**Jacob Goble**

Site Supervisor / PM | OMNI Commercial

**M** 859.894.2334 | **P** 859.254.0011

**E** [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

---

**From:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Sent:** Tuesday, August 13, 2024 9:35 AM  
**To:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>; Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>;  
[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com); Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>  
**Subject:** Re: Black and Williams PR-9

EOD Friday if possible

Get [Outlook for iOS](#)

---

**From:** Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>  
**Sent:** Tuesday, August 13, 2024 9:20:11 AM  
**To:** Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; Jacob Goble  
<[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>; [cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com) <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>;  
Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>  
**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>  
**Subject:** RE: Black and Williams PR-9

Brandon,

When do you need this? Thanks.

Thank you,



**Andrew Lee, CEP**  
Senior Estimator

**Grayhawk, LLC**  
2424 Merchant Street  
Lexington, KY 40511

859-721-2446 **Direct**  
859-953-8736 **Mobile**  
859-255-2754 **Office**  
859-259-0957 **Fax**  
[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)  
[www.grayhawk-ky.com](http://www.grayhawk-ky.com)

---

**From:** Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>  
**Sent:** Tuesday, August 13, 2024 3:02 AM  
**To:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>; Colin Wilkerson <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>;

Andrew Parker <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>; Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>  
**Cc:** Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>  
**Subject:** Re: Black and Williams PR-9

Please make sure this is turn key pice for scope.

Sent from my T-Mobile 5G Device  
Get [Outlook for Android](#)

---

**From:** Jacob Goble <[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)>  
**Sent:** Monday, August 12, 2024 12:07:49 PM  
**To:** [cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com) <[cwilkerson@grayhawk-ky.com](mailto:cwilkerson@grayhawk-ky.com)>; Andrew Parker ([aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)) <[aparker@grayhawk-ky.com](mailto:aparker@grayhawk-ky.com)>; Andrew Lee <[alee@grayhawk-ky.com](mailto:alee@grayhawk-ky.com)>  
**Cc:** Brandon Tyree <[brandon@omnicommercialky.com](mailto:brandon@omnicommercialky.com)>; Jeffrey Weneck <[jweneck@omnicommercialky.com](mailto:jweneck@omnicommercialky.com)>  
**Subject:** Black and Williams PR-9

Grayhawk team,  
Please see below pricing request from the owner as another option in lieu of the metal panel system previously requested.

1. **Grayhawk:** Revise per the following
  - a. Omit cost for metal sub-framing (Z-furring)
  - b. Omit cost for metal panel siding
  - c. Provide cost for installing E.I.F.S. system (basis of design is Dryvit "Outsulation System") directly over the new CMU per the following:
    - (2) layers of 1" EPS insulation board (typ per manuf.) – attach to CMU per manufacturer's recommendations
    - Integral color: Standard Color Selections
    - 'Sandblast' DPR Finishes - "Original" Aggregate Textured 100% Acrylic-Based Dirt Pickup Resistance Finishes
    - Standard + Panzer 15 reinforcing meshes

Please include lead times and durations along with your pricing.  
Thanks,



**Jacob Goble**  
Site Supervisor / PM | OMNI Commercial

**M** 859.894.2334 | **P** 859.254.0011  
**E** [jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

2025 Leestown Rd, Suite B, Lexington, KY 40511  
[omnicommercialky.com](http://omnicommercialky.com)





GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT





# BURNS PIPING INC.

## MECHANICAL CONTRACTORS

COMMERCIAL \* INDUSTRIAL  
MAINTENANCE & REPAIR

3200 KNOB LICK ROAD, IRVINE, KY 40336 PHONE (606)726-0242

PROPOSAL

Date: 8/20/2024

OMNI CONSTRUCTION

PAGE 1 OF 1

**ATT: JACOB**

**RE: BLACK AND WILLIAMS NEIGHBORHOOD CENTER- CHANGE ORDER  
REQUEST - 2**

DEAR SIR,

WE ARE PLEASED TO FURNISH OUR PROPOSAL FOR THE ABOVE-MENTIONED PROJECT.

- **WORK INCLUDED IN OUR PROPOSAL:**
  1. REMOVE ABOUT 2-3FT OF PIPE AND 90 FOR SHORING. THEN REROUTE AFTER SHORING IS DONE.
- **WORK NOT INCLUDED IN OUR PROPOSAL:**
  1. NO MAN LIFTS INCLUDED.
  2. ANYTHING NOT LISTED AS INCLUDED.

**LUMP SUM TOTAL: \$1,490.00**

Thank you for the opportunity of quoting. Feel free to call me with any questions. **CELL: 859-661-0567**

**STACY BURNS**

---

Date of Acceptance

Company

Authorized Signature

**BURNS PIPING IS A (SBA) CERTIFIED HUBZONE CONTRACTOR**



## Request for Change

P.O. Box 12111 (40580)  
2424 Merchant Street  
Lexington, KY 40511

RFC Number: 6  
Date: 08/23/2024

**We hereby propose to make the following changes:**

RFC 6 - Demo work in two front rooms - cutting drywall around joists.

\*We need OMNI to layout the area in which they need demoed so we do only what is needed.

**Exclusions:**

- Patch and repair of existing drywall or metal.

**To:**

OMNI GENERAL CONTRACTING  
PO BOX 34065  
LEXINGTON, KY 40588

**Project:**

LFUCG BLACK & WILLIAMS  
LEXINGTON, KY 40508

<b>Requested By:</b>	<b>Phone:</b>	<b>E-mail:</b>
Colin Wilkerson	(859) 721-2320	cwilkerson@grayhawk-ky.com

<b>Recipients:</b>	<b>Phone:</b>	<b>E-mail:</b>
Jacob Goble	(859) 251-0111	jgoble@omnicommercialky.com

<b>Requested Change:</b>	<b>Change to Contract</b>
Labor (4 Hours @ \$56.50/Hr)	\$ 226.00

**RFC Total**

**\$ 226.00**

Pricing is based upon conditions or documents provided by the date issued above and is valid until 08/30/2024. Any changes to jobsite conditions, which may include but are not limited to weather, unforeseen conditions, progress of other trades, accelerated scheduling, or out-of-sequence work may result in additional costs. Unless stated otherwise the price above does not include overtime or costs for shift differential. Acceptance of this RFC by verbal direction, signed authorization, or issuance of a Change Order constitutes the acceptance of this document and all terms and conditions contained herein.

Colin Wilkerson

Grayhawk, LLC

Author

Authorized Signature

OMNI GENERAL CONTRACTING

Date

# Proposal Request

**PR#:** 010

**Project:** Black & Williams Community Center - Gymnasium Improvements

**Date:** September 13, 2024

---

**The due date for this PR#10 shall be 9/20/24.**

Each proposal shall have a full material and labor breakdown including OH&P of 15% maximum.

*This proposal request does not indicate a notice-to-proceed for the work outlined below.*

LFUCG has requested that Omni Commercial prepare a formal cost proposal to complete work associated with the following items, to alter the original project scope.

**PR #10: Acoustic Wall Panel (Material + Labor for Install)**

The following proposal request is being issued to procure pricing for the purchase and installation of (6) acoustic wall panels provided by Ketchum-Walton.

LFUCG has procured a proposal from Ketchum- Walton (see attached proposal) for the wall panel materials, but they will need to be purchased through Omni Commercial. Please reach out to **Parker Alboher at Ketchum-Walton** for an updated proposal with Omni Commercial listed as purchasing agent prior to formal submission of PR 10 pricing.

**email:** [palboher@ketchum-walton.com](mailto:palboher@ketchum-walton.com)

**tel:** (317) 985-4331

In-wall blocking has already been installed at the panel location.

See attached drawing for the panel types/locations.

**DATE:** 7/29/24  
Quote good for 60 days

**To:** Josh Ives – General Services

**Project:** Black & Willams Gymnasium

**Scope of Work:** Furnish the products listed below

S-2100 high-impact/tackable acoustical panels

- Thickness 1 1/8
- (4) 36" x 84"
- Finish - Guilford fr701-2100 #721 lime
- Edge - hardened radius
- Mounting - impaling clips
- (2) 36" x 84"
- Finish - Guilford fr701-2100 #420 cobalt
- Edge - hardened radius
- Mounting - impaling clips

*\*\* Lime fabric in stock now but we are waiting on our stock order of Cobalt to come in*

**Excludes:**

- Applicable taxes, permits, and fees
- Installation and Labor

**MATERIAL AND FREIGHT: \$6,250.00**

**Commercial Notes:**

**Terms:** Net 30 Days on approved credit. REQUIRED 20% deposit at the time of order. 30% at the time of approval/release to production. 50% upon shipment, net 30. Payments past due are subject to 1-1/2% per month. All major credit cards are accepted along with the addition of CC fees to the total paid on the CC of choice. ALL new customers are required to complete a credit application prior to order being placed.

**Pricing:** Prices above are based on orders received within one (1) month of quote date and on shipments within three (3) months or order date. If order is released after the three (3) months of order date, pricing will need to be adjusted.

**FOB:** Factory, with freight included in the above pricing, and material shipping at the same time unless noted above. If shipment must be split, extra Freight charges will be incurred. Freight pricing above is estimated. Price subject to change at time of order.

**Shipping:** It is assumed to be to a commercial loading dock or tractor-trailer accessible location for removal with forklift or crane by others. Any visible damage to crates must be noted on shipping docs at the time of delivery and reported to Ketchum & Walton within 12 hrs. If product delivery is delayed or pushed out 90+ days after final approval of shop drawings, additional costs will be incurred.

**Storage:** All crates are to be stored in a dry, flat, safe area. Failure to comply may void the material manufacturer's warranty.

**Lead Time:** Panel Lead Time: 6-8 weeks for manufacturing. Lead time listed excludes factory holiday closures, any pandemic shutdowns due to COVID-19

**Delivery:** Time can vary due to COVID-19. Faster delivery may be available at the time of release.

**Submittals:** Shop drawings, product info, samples, and testing info are included. 2-3 weeks for completion of submittal ARO.

**Sales Tax:** Sales tax has NOT been included. If this is a TAX EXEMPT project, please provide a Tax Exempt cert. with PO.

**Labor:** Any labor quoted is based on regular hours. Any installation required outside regular hours will require an updated quote.

**Cancellation:** If this quote is accepted, and then canceled for any reason, a cancellation fee of up to 100% can be incurred for work performed providing shop drawings, samples, production costs, administrative work, etc.

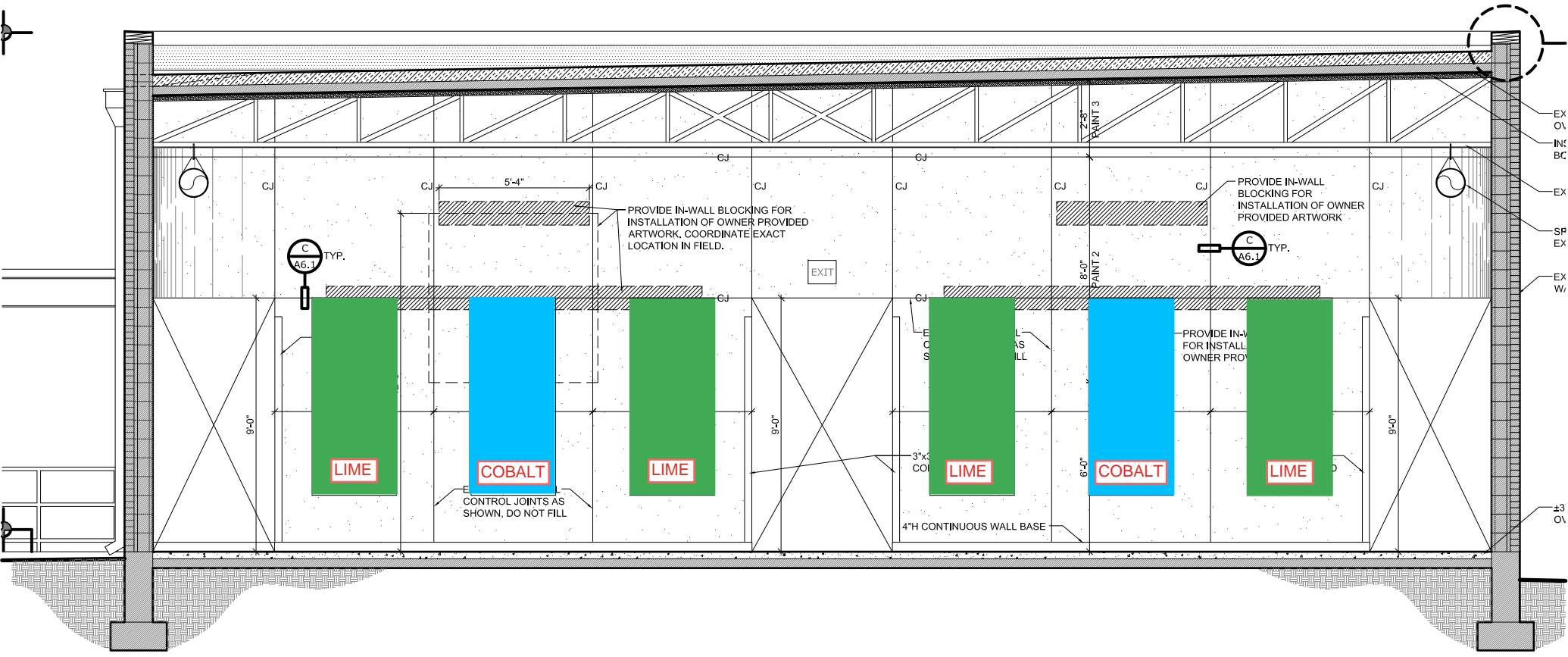
Until signed and returned by the buyer and received by the Seller at its offices, this document is merely a quotation of sales prices and a tender of service. This quotation is a firm offer for 30 days. Unless accepted in the same form as tendered, it shall be of no force or effect. If any of the terms herein contained are changed or modified in any manner, however slight, such changes or modifications shall be deemed a rejection hereof and shall constitute a counteroffer.

Parker J. Alboher  
KENTUCKY

Tel: 317.985.2558 Fax: 513.489-4331 [palboher@ketchum-walton.com](mailto:palboher@ketchum-walton.com) [www.ketchum-walton.com](http://www.ketchum-walton.com)







Notes:

- Top of wall panels to align with the bottom of the horizontal control joint, as shown.
- Each wall panel to be centered between the vertical control joints, as shown.

Proposal Request #10  
9/23/24



GENERAL CONTRACTING | DESIGN-BUILD | CONSTRUCTION MANAGEMENT

# PR-10 PRICING

2025 Leestown Road, Suite B  
Lexington, KY 40511  
Phone (859) 254-0011  
[jgoble@omnicommercialky.com](mailto:jgoble@omnicommercialky.com)

DATE **September 24, 2024**  
LFUC-Black and Williams Neighborhood Ctr

CUSTOMER LFUC-Black and Williams Neighborhood Ctr  
498 Georgetown St Lexington KY 40509  
Att: Daniel Thornberry

DESCRIPTION	TOTAL
<b>Pricing to provide and install Acoustical Wall Panels per PR-10</b>	
Valley Interior Systems quote to provide and install Ketchum & Walton Acoustical Panels specified by LFUCG/JEA	\$9,692.75
<b>Note : Lead times can vary based on time of order, can range up to 6 weeks per K&amp;W's proposal. OMNI and VIS are not responsible for delays to this work due to lead times.</b>	
Change Order Amount	\$9,692.75
GC Mark-Up	\$ 1,163.13
Bond Fee	\$ 290.78
<b>TOTAL AMOUNT OF THIS CHANGE ORDER</b>	<b>\$ 11,146.66</b>
Original Contract Amount	\$ 1,319,588.00
Contract Amount with Previous Change Orders	\$ 1,478,434.11
Total Contract Amount with Change Orders	<b>\$ 1,489,580.77</b>

**Jacob Goble**

**9/24/2024**

Authorized by: Daniel Thornberry

Date

Authorized by: Jacob Goble, Project Manager

Date





Valley Interior Systems, Inc.  
 100 Mercer Court, Suite 110  
 Lexington, KY 40511

[www.valleyinteriorsystems.com](http://www.valleyinteriorsystems.com)

# PROPOSAL

<b>PROPOSAL SUBMITTED TO</b>		<b>PHONE</b>	-	<b>BID DATE</b>
Omni Commercial		<b>FAX</b>	-	9/20/204
		<b>EMAIL</b>	-	
<b>JOB NAME</b>		<b>JOB LOCATION</b>		
Black & Williams Gymnasium Sound Panels		Lexington KY		
<b>ARCHITECT</b>	<b>DATE OF PLANS</b>		<b>PREVAILING WAGE</b>	<b>SALES TAX</b>
N/A	Base Bid	N/A	No	Yes
	Addenda	N/A		

Project Specifications (As applies to Scope)	
	Not Applicable at this time.

<b>TOTAL BASE BID</b>	<b>\$</b>	<b>9,692.75</b>
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Line Item Breakouts			
Ketchum and Walton Material Quote	Included	\$	6,250.00
Installation and Labor	Included	\$	1,800.00
Taxes, permits, and fees	Included	\$	375.00
	<u>Sub Total</u>	\$	<u>8,425.00</u>
Overhead and Profit (15%)	Included	\$	1,267.75

QUALIFICATIONS	
<b>General</b>	
1 Clean Up Provided to Dumpsters provided by others.	
2 Assumes all work to be completed during normal working hours.	
3 Includes all Interior lifts and scaffolding needed to complete scope of work.	
<b>Sound Panels</b>	
1 Furnish and Install S-2100 high-impact/tack able acoustical panels.	
2 Thickness 1-1/8"	
3 (4) 36"x84" Finish - Guilford fr701-2100 #721 Lime	
4 (2) 36"x84" Finish - Guilford fr701-2100 #420 Cobalt	
5 Includes edge - hardened radius	
6 Includes Mounting -impaling clips	

EXCLUSIONS	
1 Assumes there are no penetrations through the panels	
2 Excludes any caulking / joint treatments, etc.	
3	
4	
5	
6	
7	

This proposal is valid for (45) forty-five days and void thereafter. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control.

<b>BID SUBMITTED BY</b>		Chase Aitkin	
Signature:		Chase Aitkin	
<b>PHONE</b>	859-469-8088	<b>EMAIL</b>	<a href="mailto:caitkin@buildwithvalley.com">caitkin@buildwithvalley.com</a>
<b>FAX</b>	859-523-9206	<b>CELL</b>	859-351-2637

# Proposal Request

**PR#:** 010  
**Project:** Black & Williams Community Center - Gymnasium Improvements  
**Date:** September 13, 2024

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**The due date for this PR#10 shall be 9/20/24.**

Each proposal shall have a full material and labor breakdown including OH&P of 15% maximum.

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email: [palboher@ketchum-walton.com](mailto:palboher@ketchum-walton.com)

tel: ~~(317) 985-4331~~ 317-985-2558

In-wall blocking has already been installed at the panel location.

See attached drawing for the panel types/locations.

**DATE:** 7/29/24  
Quote good for 60 days

**To:** Chase Aitkin

**Project:** Black & Willams Gymnasium

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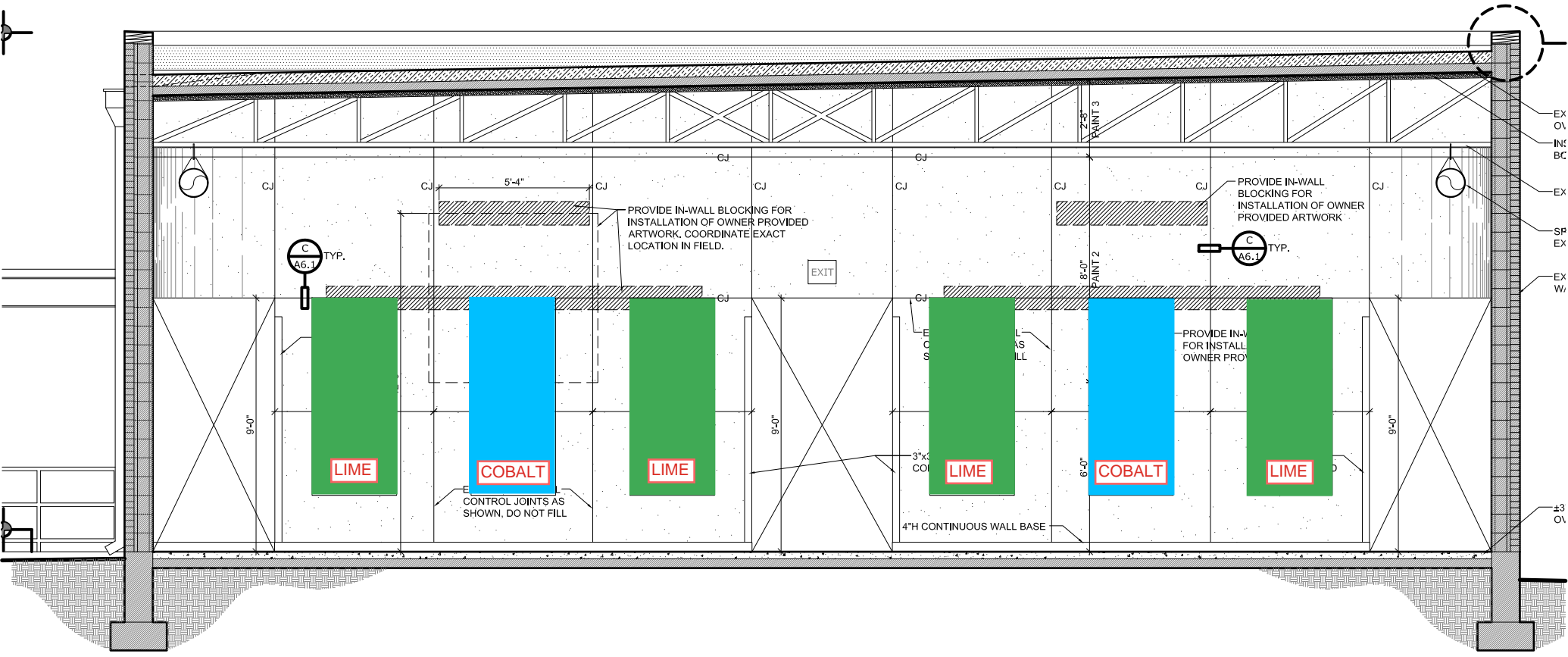
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Proposal Request #10  
 9/23/24